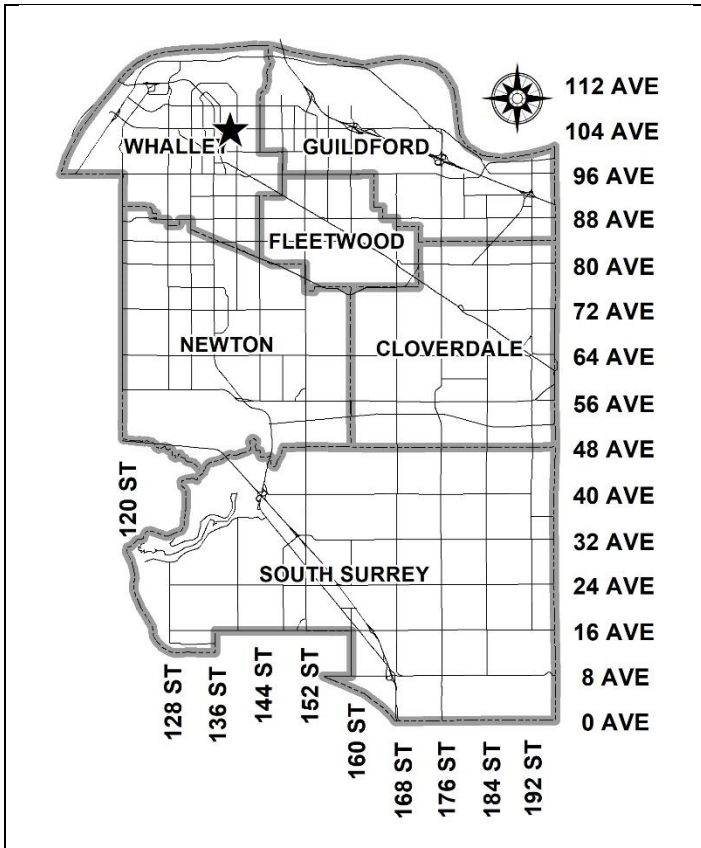


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7921-0285-00

Planning Report Date: March 11, 2024



PROPOSAL:

- **Development Variance Permit**

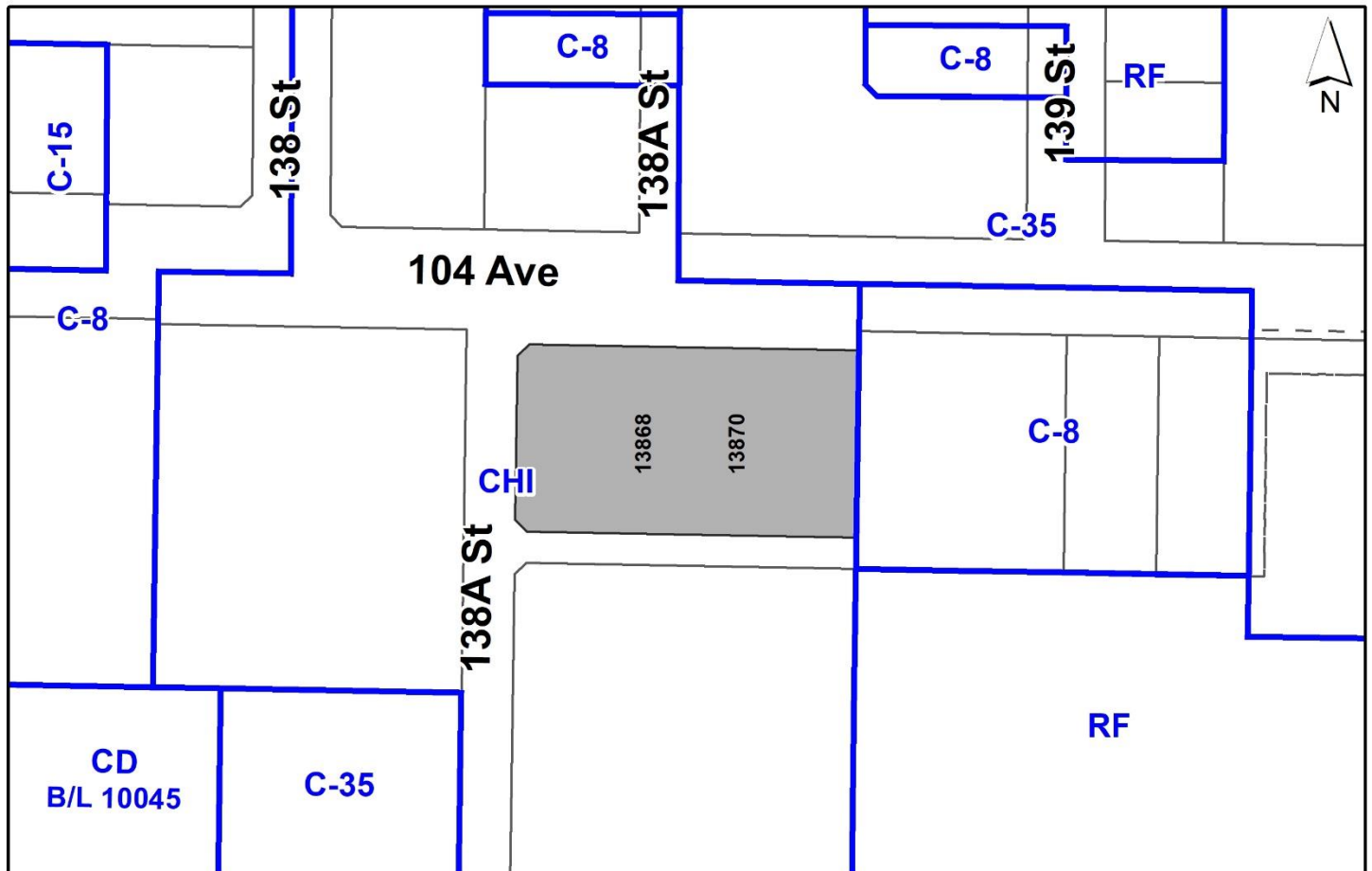
to allow reduced balcony sizes for 48 residential dwelling units in an approved mixed-use tower in City Centre.

LOCATION: 13868 104 Avenue
(13870 - 104 Avenue)

ZONING: CD Bylaw No. 20652

OCP DESIGNATION: Downtown

CITY CENTRE DESIGNATION: Mid to High Rise Mixed-Use



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Development Application No. 7921-0285-00, proposing a 34-storey mixed-use tower in City Centre, received final adoption and Development Permit issuance on December 18, 2023.
- Subsequent to final adoption and Development Permit issuance, it was identified that 48 of the 341 residential dwelling units have balconies that do not satisfy the minimum size requirement of 5% of the dwelling unit size or 4.6 square metres, whichever is greater, as outlined in CD Bylaw No. 20652.
- The applicant is proposing a Development Variance Permit to reduce the required balcony sizes for 48 of the 341 residential dwelling units (14%), from 5% of the dwelling unit size or 4.6 square metres, whichever is greater, to a minimum of 3.0 square metres.

RATIONALE OF RECOMMENDATION

- Staff support the Development Variance Permit to allow for reduced balcony sizes for 48 of the residential dwelling units for the following reasons:
 - The architectural design of the project is unique with some recessed and semi-recessed balconies that contribute to enhancing the bold elevations on the north and south facades. Extending the balconies beyond the existing framing would compromise the architectural design.
 - 1,616 square metres of outdoor amenity area is being provided, which is 585 square metres above the required 1,031 square metres.
 - All of the affected units have reasonable balcony sizes of not less than 3.0 square metres.
 - The reduced balcony sizes were not identified prior to final adoption and Development Permit issuance and would have been supported by staff and reflected in the CD Bylaw for Council consideration and approval at the time of final adoption.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7921-0285-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) Section J.3 of Surrey Comprehensive Development Zone 63 (CD 63), Bylaw, 2022, No. 20652, is varied to reduce the minimum required balcony size from 5% of the dwelling unit size or 4.6 square metres, whichever is greater, to a minimum of 3.0 square metres for up to 48 residential dwelling units.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Development Application No. 21-0285-00, approved December 18, 2024, proposing a 34-storey mixed use tower.	Mid to High Rise Mixed-Use	CD (Bylaw No. 20652)
North (Across 104 Avenue):	Single-storey commercial and office businesses	Mid to High Rise Mixed-Use	C-8 and C-35
East:	Single-storey commercial business	Mid to High Rise Mixed-Use	C-8
South (Across the lane):	Mini-storage business	Mid to High Rise Residential	CHI
West (Across 138 A Street):	Single-storey highway commercial business	Mid to High Rise Mixed-Use	CHI

Context & Background

- Development Application No. 7921-0285-00, proposing a 34-storey mixed-use tower in City Centre, received final adoption and Development Permit issuance on December 18, 2023.
- Subsequent to final adoption and Development Permit issuance, it was identified that 48 of the 341 residential dwelling units have balconies that do not satisfy the minimum size requirement of 5% of the dwelling unit size or 4.6 square metres, whichever is greater, as outlined in CD Bylaw No. 20652.

- The provision for minimum balcony sizes is consistent with the underlying Multiple Residential 135 (RM-135) Zone, and all multiple residential zones in Surrey Zoning Bylaw No. 12000, intended to ensure access to outdoor space.

DEVELOPMENT PROPOSAL

Planning Considerations

Development Variance Permit

- Section J.3 of Surrey Comprehensive Development Zone 63 (CD 63), Bylaw, 2022, No. 20652, is proposed to be varied to reduce the minimum required balcony size from 5% of the dwelling unit size or 4.6 square metres, whichever is greater, to a minimum of 3.0 square metres for up to 48 residential dwelling units.
- Below is summary of the reduced balcony sizes of the 48 units:
 - 1 unit is reduced from 4.6m² to 4.4m²
 - 2 units reduced from 4.6m² to 4.1m²
 - 1 unit is reduced from 4.6m² to 4.0m²
 - 6 units are reduced from 4.6m² to 3.7m²
 - 10 units are reduced from 5.59m² to 3.7m²
 - 20 unit are reduced from 4.6m² to 3.1m²
 - 3 units are reduced from 4.6m² to 3.2m²
 - 4 units are reduced from 4.6m² to 3.0m²
 - 1 unit is reduced from 4.6m² to 3.4m²
- The applicant is requesting the variance for the following reasons:
 - The proposed variance request emerges from the intention to preserve the proposed unique architectural design of the project and desire to foster a sense of community through an extensive amount of outdoor amenity space available for use by the residents of the project.
 - The fully recessed balconies contribute to enhancing the striking and bold elevations on the northern and southern facades. The semi-recessed balconies, sited along the same elevation, bring an element of fun and charm to these north and south faces and form an integral part of the architectural design.
 - The reduction in required balcony sizes based on the bylaw requirement is between 0.20 square meters to 1.89 square meters below the requirement and affects 48 (14%) out of 341 residential units.
- Staff support the requested variances to proceed for consideration.

Conclusion

- In summary, staff support the Development Variance Permit to allow for reduced balcony sizes for 48 of the residential dwellings units for the following reasons:

- The architectural design of the project is unique with some recessed and semi-recessed balconies that contribute to enhancing the bold elevations on the northern and southern facades. Extending the balconies beyond the existing framing would compromise the architectural design.
- 1,616 square metres of outdoor amenity area is being provided, which is 585 square metres above the required 1,031 square metres.
- All of the affected units have reasonable balcony sizes of not less than 3.0 square metres.
- The reduced balcony sizes were not identified prior to final adoption and Development Permit issuance and would have been supported by staff and reflected in the CD Bylaw for Council consideration and approval at the time of final adoption.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Floor Plans, Building Elevations and Renderings

Appendix II. Development Variance Permit No. 7921-0285-00

Note: Original Planning Report dated May 30, 2022 attached after Appendix II

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

IM/ar

CLIENT

STREETSIDE DEVELOPMENTS

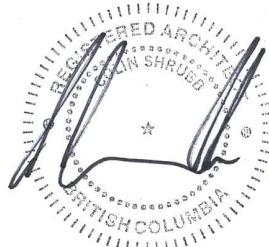
NO. | DATE | ISSUE

- 1 | 2021-09-17 | ISSUED FOR RZ/DP
- 2 | 2022-02-25 | REISSUED FOR RZ/DP
- 3 | 2022-04-05 | REISSUED FOR RZ/DP
- 4 | 2022-04-12 | ISSUED FOR ADP
- 5 | 2022-05-19 | REISSUED FOR RZ/DP
- 6 | 2023-05-18 | ISSUED FOR 4TH READING
- 7 | 2023-11-20 | RE-ISSUED FOR 4TH READING

NO. | DATE | REVISION



NOV 20 2023



PROJECT

MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT
13868 104TH AVENUE,
SURREY, BC

REZONING /
DEVELOPMENT PERMIT

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PROJECT A220490
DRAWN LM/SS CHECKED CS
SCALE NTS
DATE NOV.20.2023

104th AVENUE

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

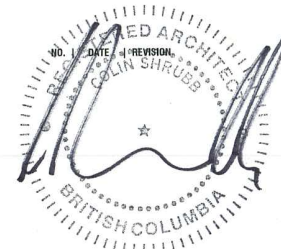
13868 104TH AVENUE, SURREY, BC

CITY OF SURREY FILE No. 7921-0285-00



CLIENT
STREETSIDE DEVELOPMENTS

- NO. | DATE | ISSUE
- 1 | 2021-08-17 | ISSUED FOR RZ/DP
 - 2 | 2022-02-25 | REISSUED FOR RZ/DP
 - 3 | 2022-04-05 | REISSUED FOR RZ/DP
 - 4 | 2022-04-12 | ISSUED FOR ADP
 - 5 | 2022-05-19 | REISSUED FOR RZ/DP
 - 6 | 2023-08-18 | ISSUED FOR 4TH READING
 - 7 | 2023-11-20 | RE-ISSUED FOR 4TH READING



LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

NOV 20 2023

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

LEVEL 3

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PROJECT A220490
 DRAWN LM/SS CHECKED CS
 SCALE 1:200
 DATE NOV. 20, 2023

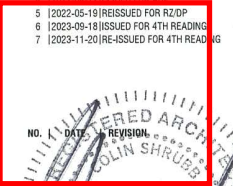
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CLIENT
STREETSIDE DEVELOPMENTS

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3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-05	REISSUED FOR RZ/DP
5	2022-05-19	REISSUED FOR RZ/DP
6	2023-09-18	ISSUED FOR 4TH READING
7	2023-11-20	RE-ISSUED FOR 4TH READING



LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

NOV 20 2023

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

LEVEL 04

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Unless otherwise noted, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability from the construction and completion thereof on the drawings. Shop drawings shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A220490
 DRAWN LM/SS CHECKED CS

SCALE 1:200
 DATE NOV 20, 2023

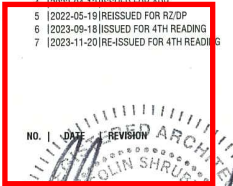
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CLIENT
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4	2022-04-29	REISSUED FOR RZ/DP
5	2022-05-18	REISSUED FOR RZ/DP
6	2023-09-18	ISSUED FOR 4TH READING
7	2023-11-20	RE-ISSUED FOR 4TH READING



LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

NOV 20 2023

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

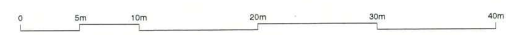
LEVEL 05

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. The architect shall not be held liable for any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A220490
 DRAWN LM/SS CHECKED CS
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 DATE NOV. 20, 2023

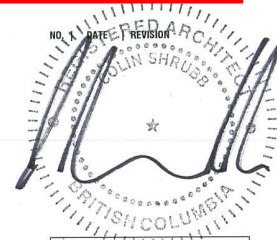
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CLIENT
STREETSIDE DEVELOPMENTS

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3	2022-04-05	REISSUED FOR RZ/DP
4	2023-04-12	ISSUED FOR ADP
5	2023-05-19	REISSUED FOR RZ/DP
6	2023-09-18	ISSUED FOR 4TH READING
7	2023-11-20	RE-ISSUED FOR 4TH READING



LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

NOV 20 2023

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

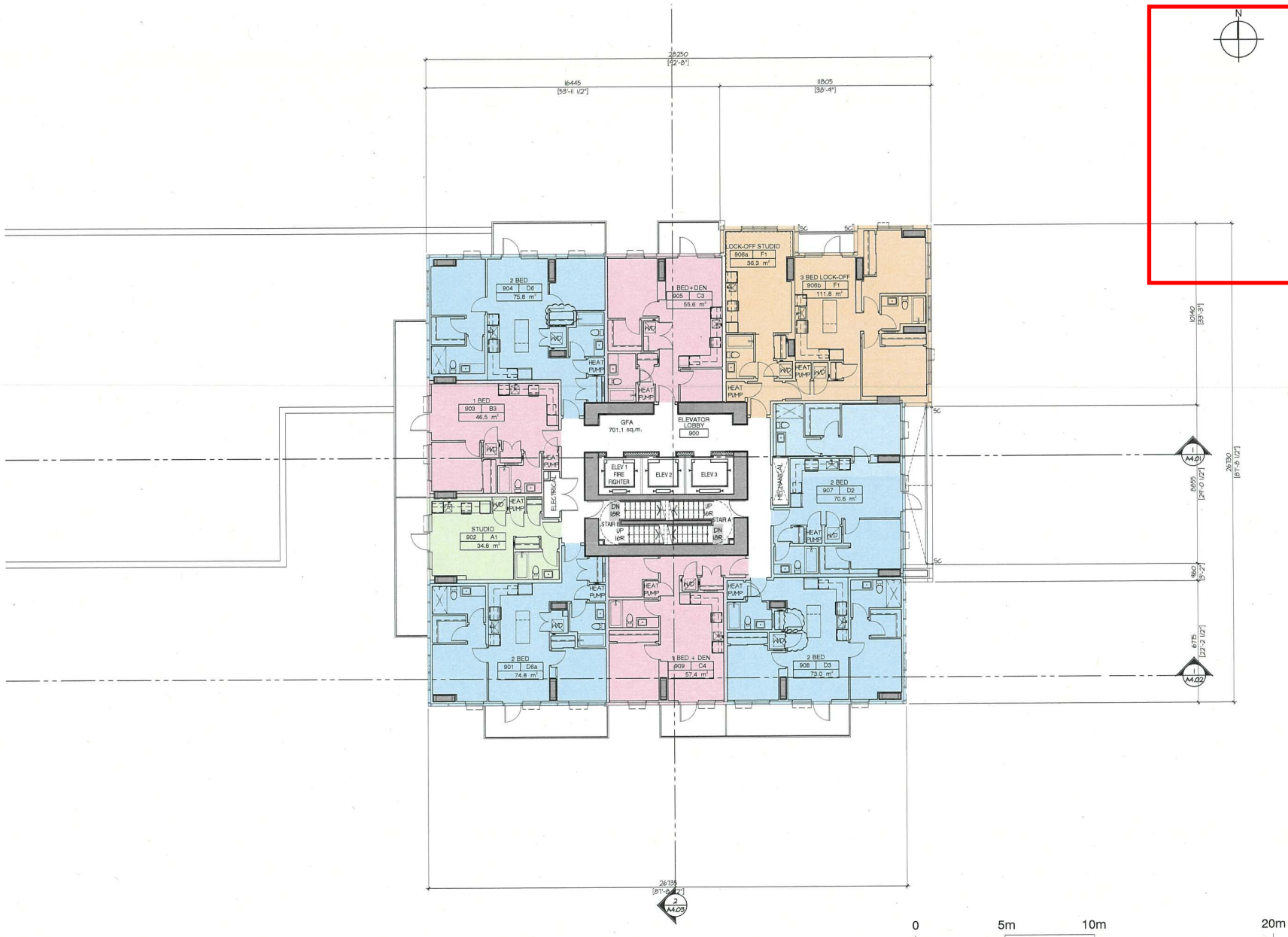
LEVEL 09

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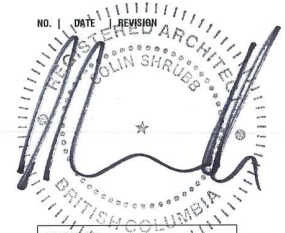
Some dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability for any errors or omissions in this drawing or for any damage or loss of any kind resulting from the use of this drawing without the written consent of the architect for issues before proceeding with construction.

PROJECT A220490
 DRAWN LJM/SS CHECKED CS
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 DATE NOV. 20, 2023

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NO.	DATE	ISSUE
1	2021-09-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP
6	2023-09-18	ISSUED FOR 4TH READING
7	2023-11-20	RE-ISSUED FOR 4TH READING



LEGEND

[Green Box]	STUDIO
[Pink Box]	1 BEDROOM
[Blue Box]	2 BEDROOM
[Orange Box]	3 BEDROOM

NOV 20 2023

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

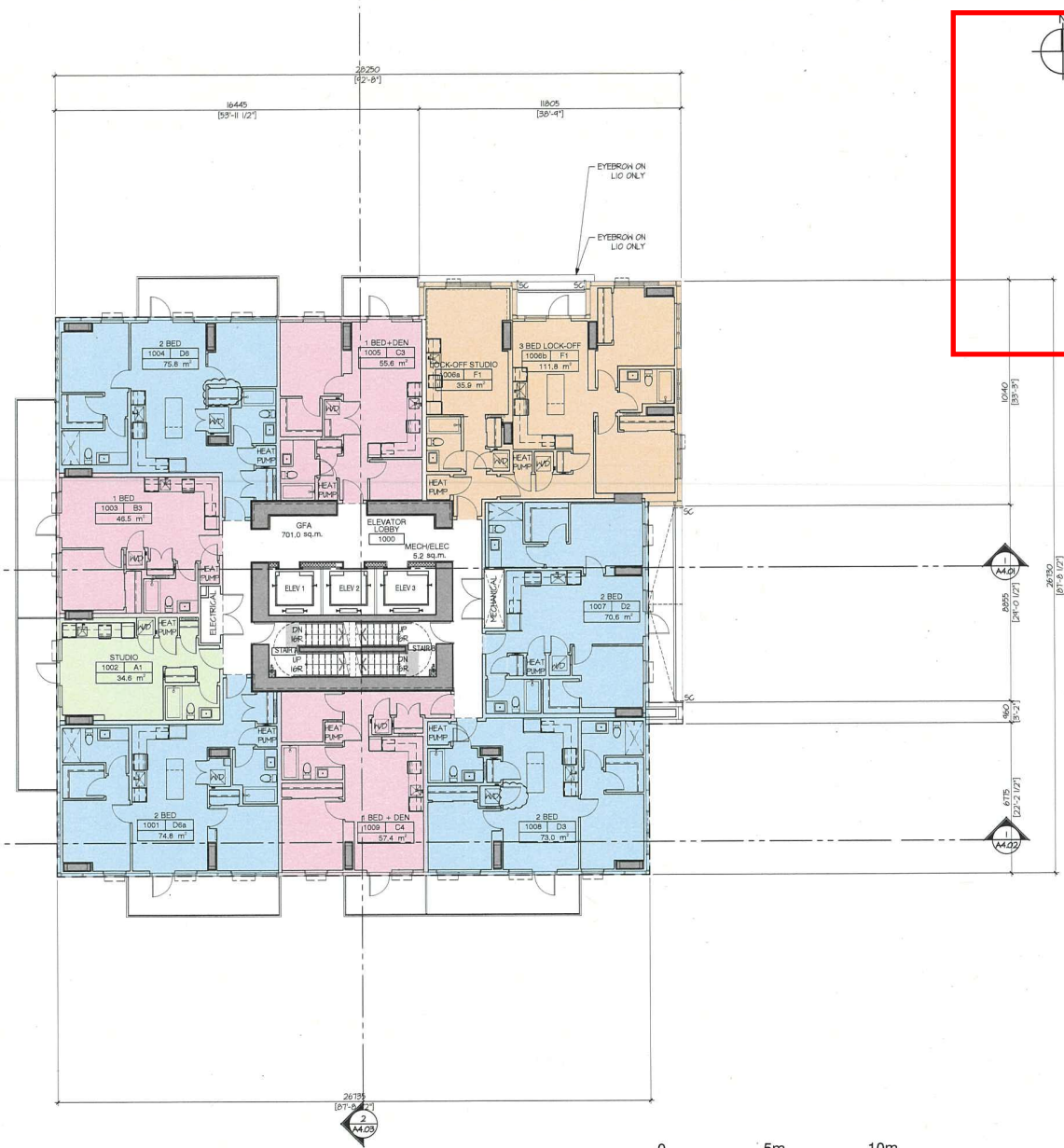
LEVEL 10 TO 11

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PROJECT A220490
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DATE NOV. 20, 2023

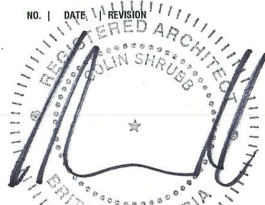
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CLIENT
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 - 2 2022-02-23 REISSUED FOR R2/DP
 - 3 2022-04-05 REISSUED FOR R2/DP
 - 4 2022-04-12 ISSUED FOR ADP
 - 5 2022-05-19 REISSUED FOR R2/DP
 - 6 2023-06-18 ISSUED FOR 4TH READING
 - 7 2023-11-20 RE-ISSUED FOR 4TH READING

NO. | DATE | REVISION



LEGEND

[Green Box]	STUDIO
[Pink Box]	1 BEDROOM
[Blue Box]	2 BEDROOM
[Orange Box]	3 BEDROOM

NOV 20 2023

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

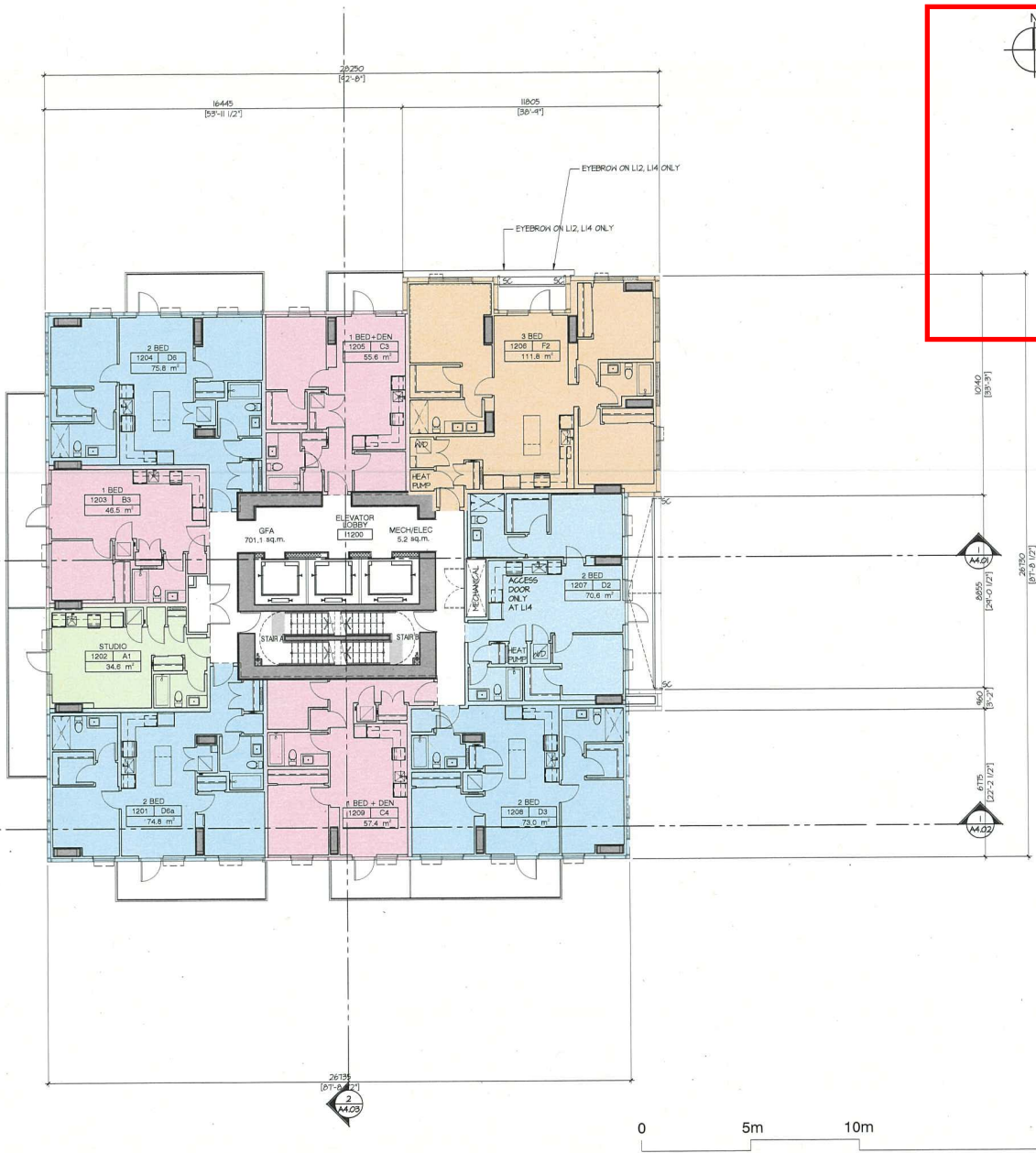
LEVEL 12 TO 14

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be relieved of any liability from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to dys architecture for review before proceeding with fabrication.

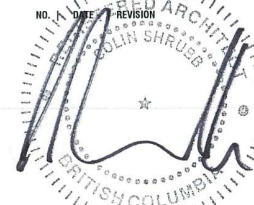
PROJECT A220490
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 DATE NOV. 20, 2023

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CLIENT
STREETSIDE DEVELOPMENTS

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- 1 | 2021-9-17 | ISSUED FOR RZ/DP
 - 2 | 2022-2-25 | REISSUED FOR RZ/DP
 - 3 | 2022-4-05 | REISSUED FOR RZ/DP
 - 4 | 2022-4-12 | ISSUED FOR ADP
 - 5 | 2022-5-18 | REISSUED FOR RZ/DP
 - 6 | 2023-9-18 | ISSUED FOR 4TH READING
 - 7 | 2023-1-20 | RE-ISSUED FOR 4TH READING



LEGEND

STUDIO
1 BEDROOM
2 BEDROOM
3 BEDROOM

NOV 20 2023

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

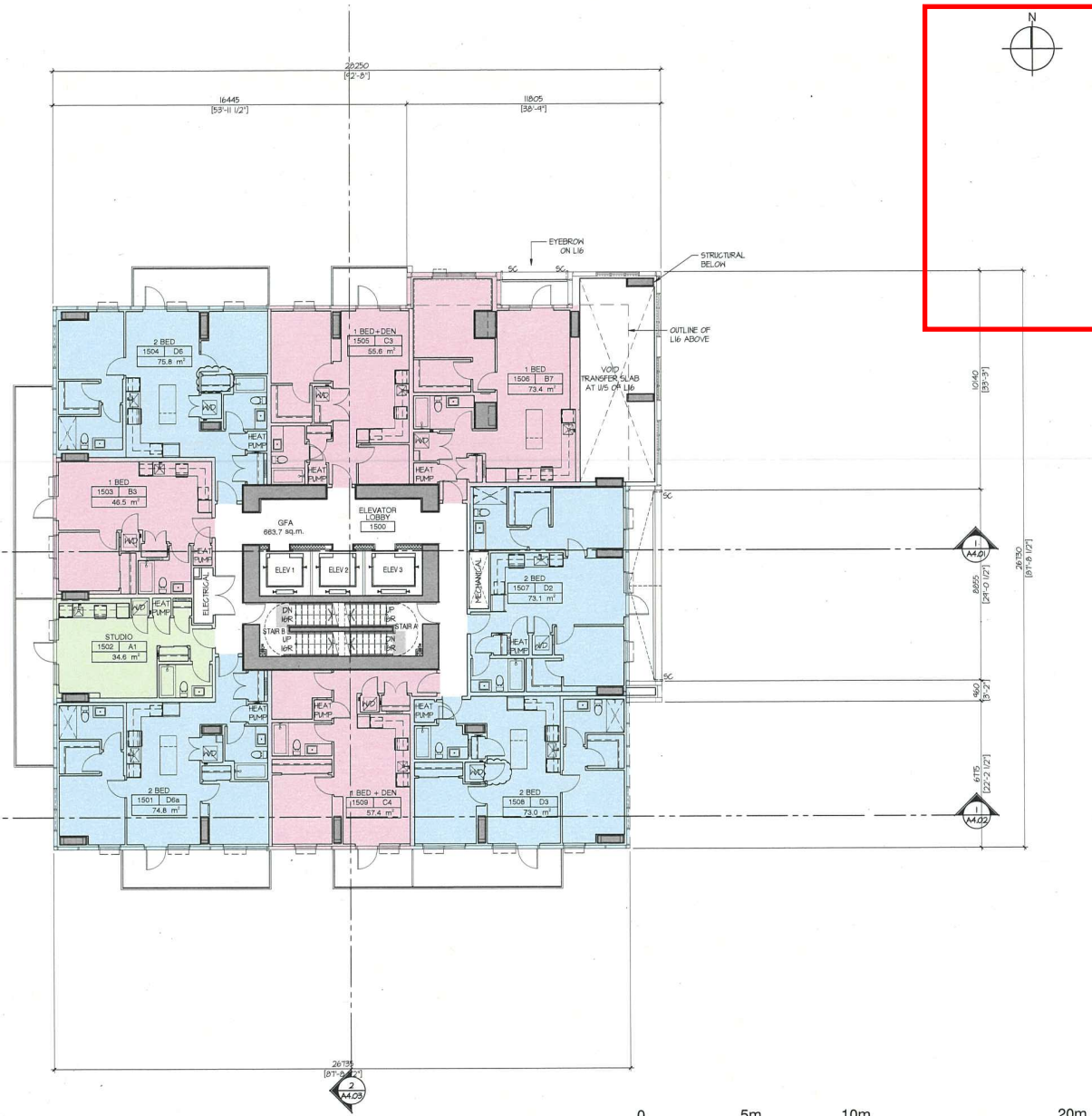
LEVEL 15

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Several dimensions shall have precedence over similar dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be informed of any deviations from the documents and conditions within 48 hours of receipt. Shop drawings shall be submitted to the architect for their review, processing and fabrication.

PROJECT A220490
DRAWN LM/SS CHECKED CS
SCALE 1:100
DATE NOV. 20, 2023

A2.16



CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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3	2022-04-05	ISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	ISSUED FOR RZ/DP
6	2023-05-18	ISSUED FOR 4TH READING
7	2023-11-20	RE-ISSUED FOR 4TH READING

NO.	DATE	REVISION



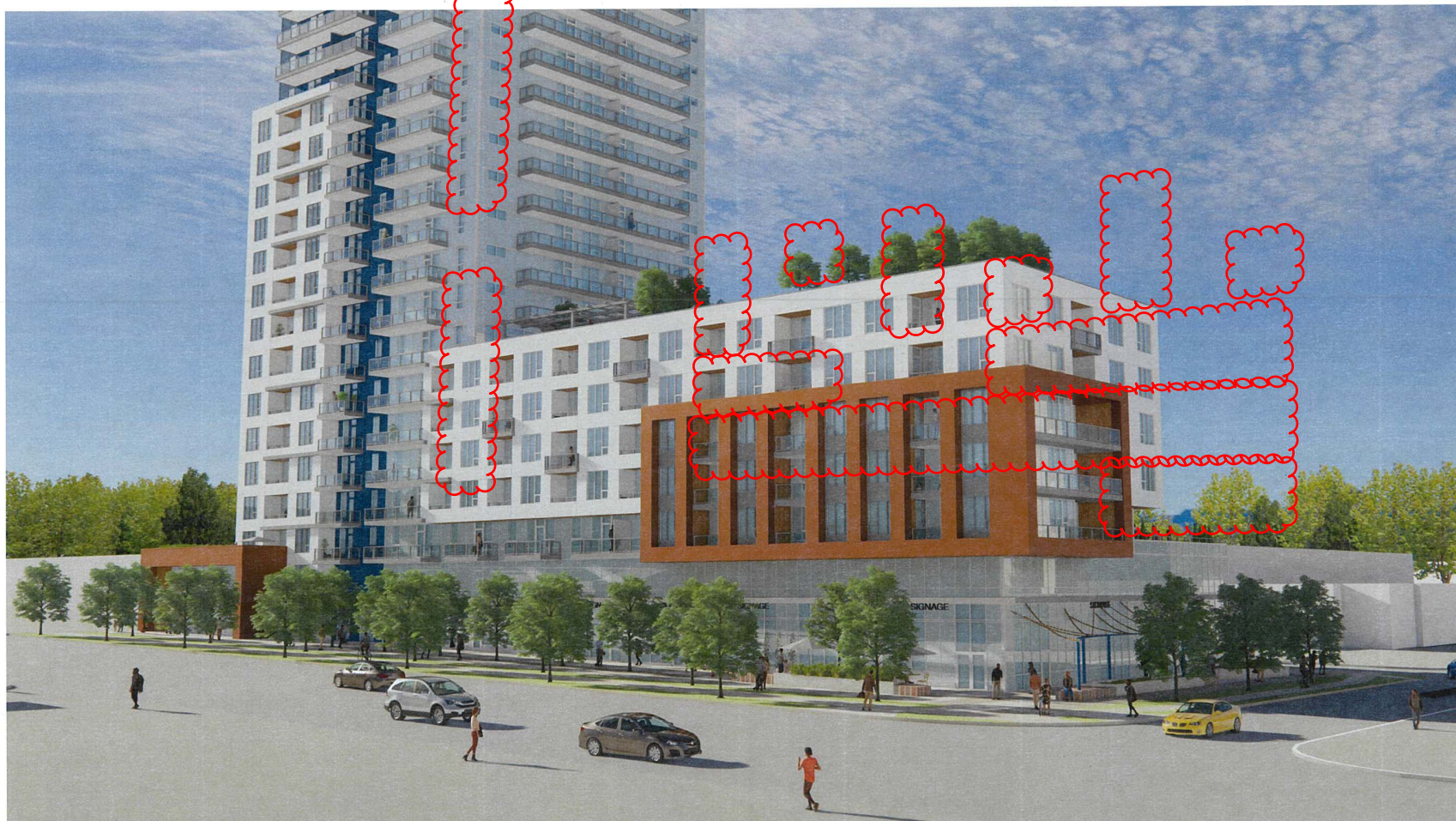
PROJECT
**MIXED-USE RESIDENTIAL,
 COMMERCIAL RETAIL AND
 OFFICE DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

**PERSPECTIVES
 PUBLIC REALM**

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PROJECT A220490
 DRAWN SS CHECKED CS
 SCALE NTS
 DATE NOV. 20, 2023

A3.08a

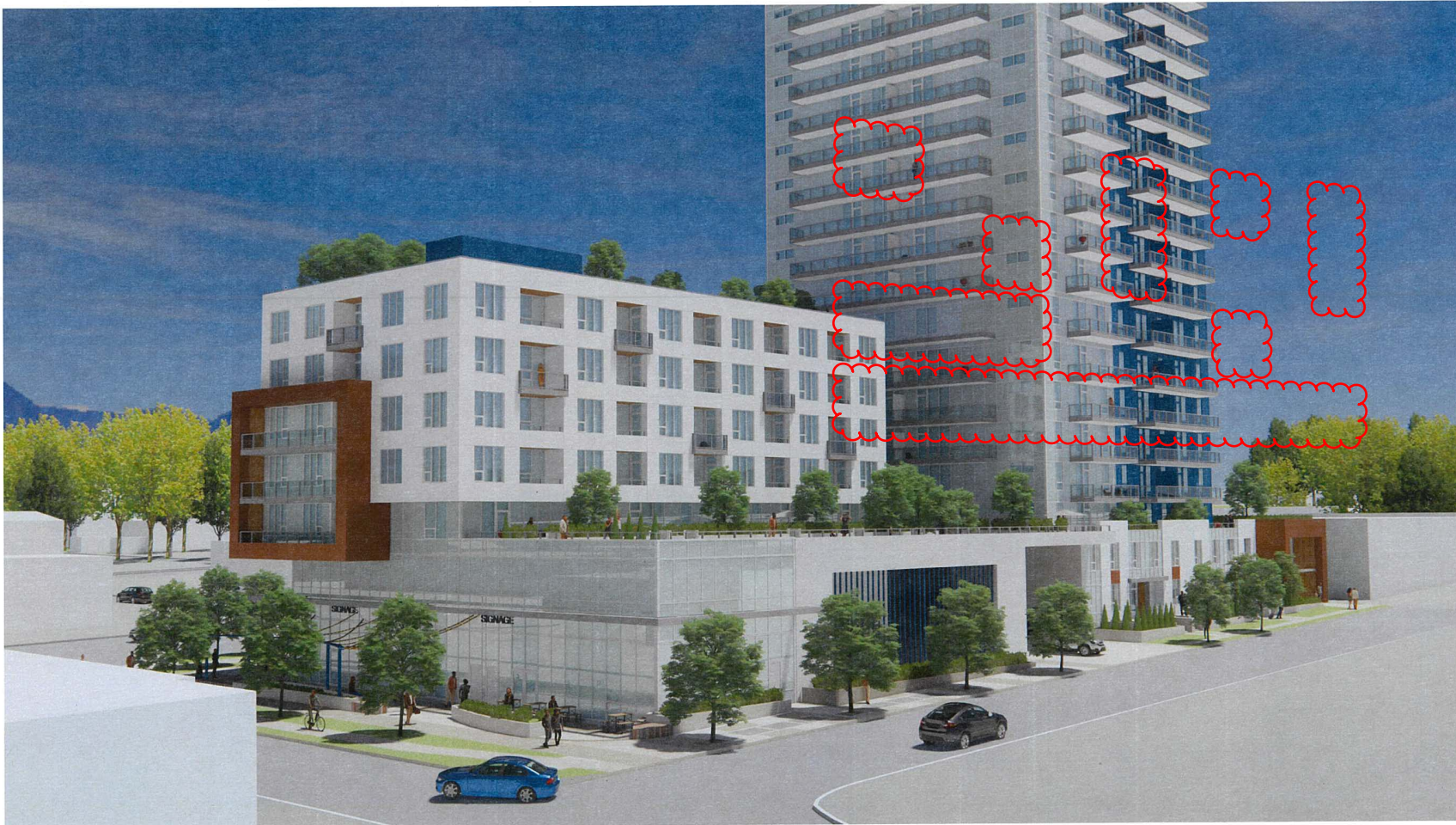


PUBLIC REALM Looking South East from 104th Avenue at 138A Street

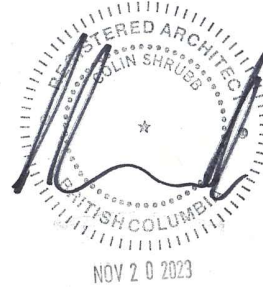
CLIENT
STREETSIDE DEVELOPMENTS

- NO. | DATE | ISSUE
- 1 | 2021-05-17 | ISSUED FOR RZ/DP
 - 2 | 2022-02-25 | REISSUED FOR RZ/DP
 - 3 | 2022-04-05 | REISSUED FOR RZ/DP
 - 4 | 2022-04-12 | ISSUED FOR ADP
 - 5 | 2022-05-19 | REISSUED FOR RZ/DP
 - 6 | 2023-09-18 | ISSUED FOR 4TH READING
 - 7 | 2023-11-20 | RE-ISSUED FOR 4TH READING

NO. | DATE | REVISION



PUBLIC REALM Looking North East from 138A Street at the Lane



PROJECT
**MIXED-USE RESIDENTIAL,
 COMMERCIAL RETAIL AND
 OFFICE DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

**PERSPECTIVES
 PUBLIC REALM**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the site and dys architecture shall be relieved of any liabilities from the dimensions and conditions shown on the drawings. This drawing shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A220490
 DRAWN SS CHECKED CS
 SCALE NTS
 DATE NOV. 20, 2023

A3.08b

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0285-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:
Parcel Identifier: 026-184-371
Lot 1 Section 26 Block 5 North Range 2 West New Westminster District Plan Bcp15711
13868 104 Avenue

(the "Land")

3. Surrey Comprehensive Development Zone 63 (CD 63), Bylaw, 2022, No. 20652, is varied as follows:
 - (a) In Section J.3. the minimum required balcony size is reduced from 5% of the dwelling unit size or 4.6 square metres, whichever is greater, to a minimum of 3.0 square metres for up to 48 residential dwelling units.
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

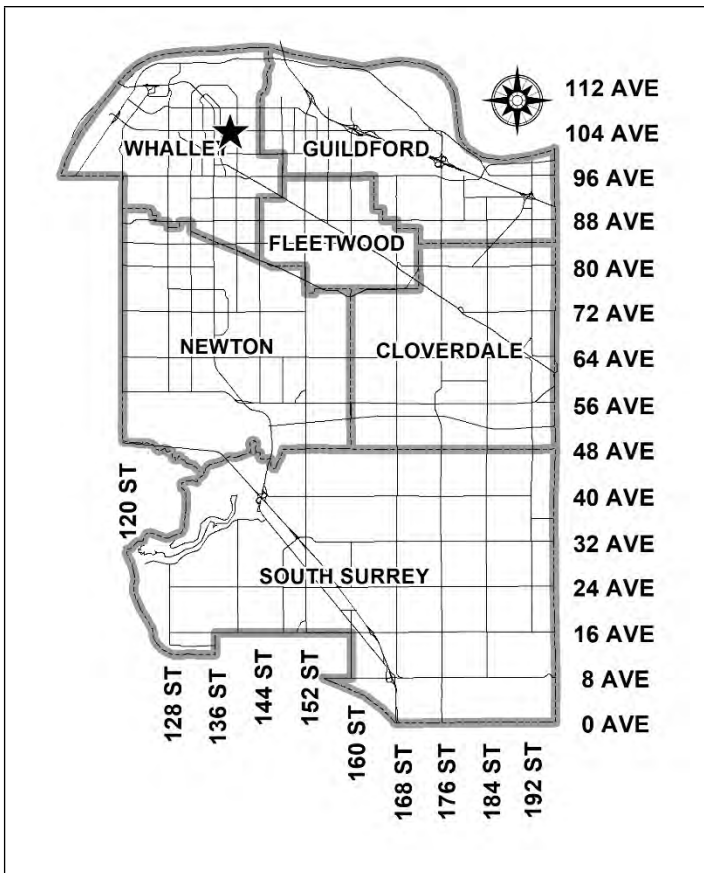
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0285-00

Planning Report Date: May 30, 2022



PROPOSAL:

- **OCP Amendment** to Figure 16: Central Business District Densities to permit a density of 5.5 FAR.
- **CCP Amendment** from Mixed-Use 3.5 FAR to Mixed-Use 5.5 FAR
- **Rezoning** from CHI to CD (based on RM-135 and C-8)
- **Development Permit**

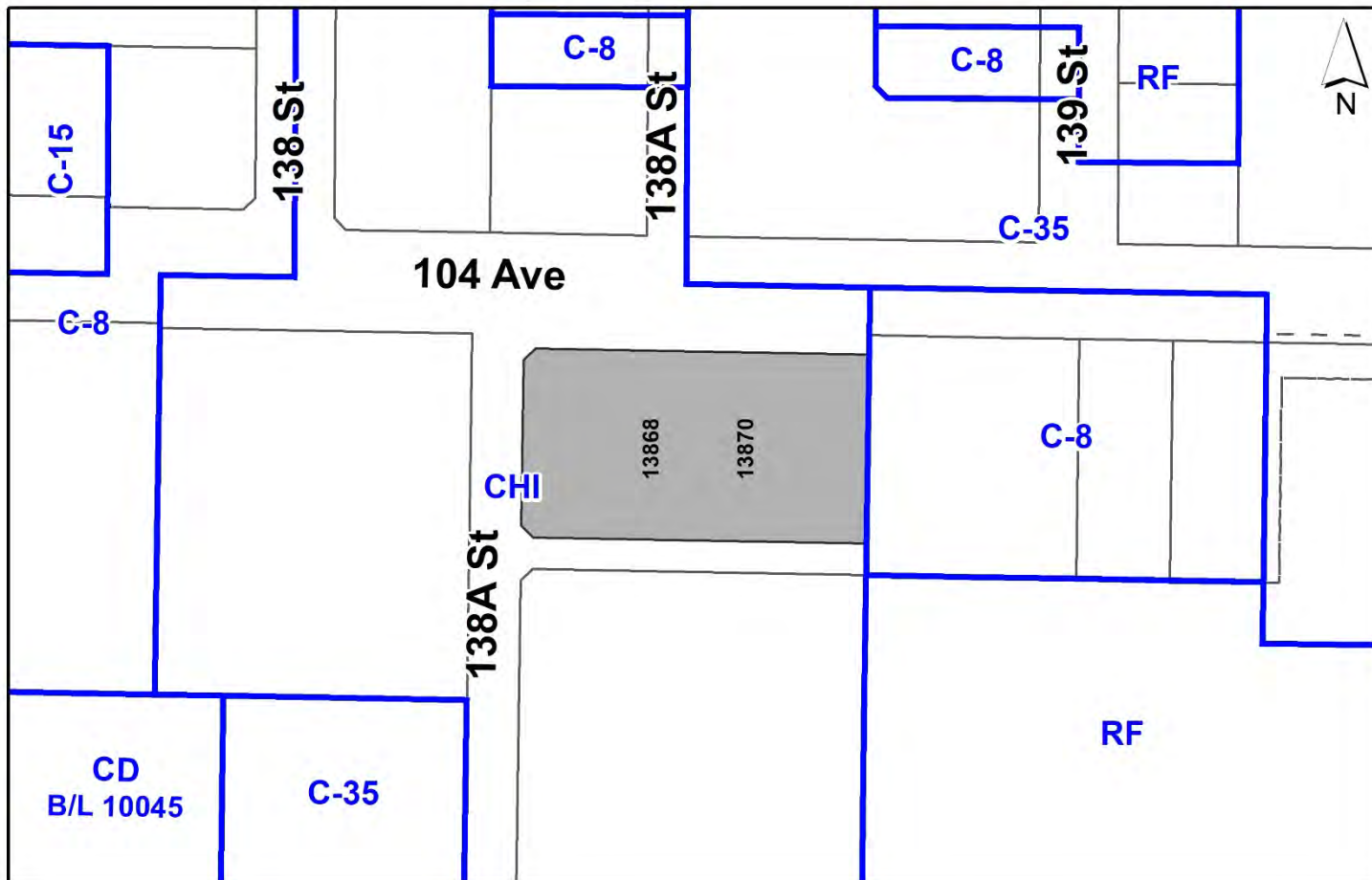
to permit the development of a 34-storey mixed-use tower with 6-storey apartment podium, 994 square metres of ground floor commercial and approximately 341 residential dwelling units.

LOCATION: 13868 -104 Avenue
 (13870 - 104 Avenue)

ZONING: CHI

OCP DESIGNATION: Central Business District

CITY CENTRE PLAN DESIGNATION: Mixed-Use 3.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the Official Community Plan (OCP) to include the site in Figure 16: Central Business District Densities with a permitted density of "5.5 FAR".
- Requires an amendment to the City Centre Plan to redesignate a portion of the subject site from "Mixed-Use 3.5 FAR" to "Mixed-Use 5.5 FAR".

RATIONALE OF RECOMMENDATION

- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed mixed-use tower with apartment podium will support and complement the Forsyth District of the City Centre.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use and residential hub around Surrey Central SkyTrain Station.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The Surrey Central Skytrain Station is located within a walking distance of less than 1 kilometre (approximately 10 minutes) from the subject site and is located along a Frequent Transit Network corridor.
- The proposed height and density of the development is consistent with an evolving urban context in the City Centre, and as it relates to adjacent tower developments in City Centre. The proposed development provides a transition from the high-density civic core centered around Civic Plaza to the west and the future residential developments to the east.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

- The proposed building achieves an attractive architectural built form, which utilizes high quality materials, contemporary lines, and unique form. Townhouses are provided at the lane, offering a diversity of unit types.
- The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP Figure 16: Central Business District Densities for the subject site from 3.5 FAR to 5.5 FAR and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A Bylaw be introduced to rezone the subject site from "Highway Commercial Industrial Zone (CHI)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Detailed Development Permit No. 7921-0285-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of an acoustical report and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (h) registration of a volumetric statutory right-of-way for public rights-of-passage for the proposed plaza spaces located on the west and northwest portions of the site; and
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

6. Council pass a resolution to amend the Surrey City Centre Plan to redesignate the land from Mixed Use 3.5 FAR to Mixed-Use 5.5 FAR when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Commercial vehicle wash business	Mixed-use 3.5 FAR	CHI
North (Across 104 Avenue):	Single-storey commercial and office businesses	Mixed-use 3.5 FAR	C-8 and C-35
East:	Single-storey commercial business	Mixed-use 3.5 FAR	C-8
South (Across the lane):	Mini-storage business	Mid to High Rise 3.5 FAR	CHI
West (Across 138 A Street):	Single-storey highway commercial business	Mixed-use 3.5 FAR	CHI

Context & Background

- The subject site is a 4,200 square metre property located south of 104 Avenue, east of Whalley Boulevard and north of Central Avenue in the Forsyth neighbourhood of Surrey City Centre.
- The subject site is designated Central Business District in the Official Community Plan (OCP), Mixed Use 3.5 FAR in the City Centre Plan, and is zoned Highway Commercial Industrial Zone (CHI).

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - OCP and City Centre Plan amendment;
 - Rezoning; and
 - a Detailed Development Permit for a 34-storey residential tower, including a 6-storey podium, with ground floor commercial space.

Proposed	
Lot Area	
Gross Site Area:	4,200 square metres
Road Dedication:	626 square metres
Undevelopable Area:	N/A
Net Site Area:	3,574 square metres
Number of Lots:	1
Building Height:	34 storeys (112 metres)
Unit Density:	N/A
Floor Area Ratio (FAR):	6.2 FAR (gross) 7.29 (net)
Floor Area	
Residential:	25,048 square metres
Commercial:	994 square metres
Amenity:	1,543 square metres
Total:	27,584 square metres
Residential Units:	
Studio:	45
1-Bedroom:	57
1-Bedroom plus den:	97
2-Bedroom:	122
2-Bedroom plus den:	9
3-Bedroom Lock-Off:	5
3-Bedroom:	6
Total:	341

Referrals

Engineering: The Engineering Department has no objection to the project as outlined in Appendix II.

School District: The School District has advised that there will be approximately 42 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.

26 Elementary students at Lena Shaw School
16 Secondary students at 16 School

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2027.

Parks, Recreation & Culture:

No concerns

Surrey Fire Department:

The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.

Advisory Design Panel:

The proposal was considered at the ADP meeting on April 21, 2022 and was supported. The applicant has resolved most of the outstanding items from the ADP review and as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Transit

- The subject site is located on 104 Avenue, which is a Frequent Transit Network corridor, with 1 bus stop approximately 45 m east of the site serviced by route #320 (Langley / Fleetwood / Surrey Central) and an enhanced bus stop less than 1 block to the west, serviced by the R1-King George Rapid Bus, route #501 (Langley Centre / Surrey Central) and #320 (Langley / Fleetwood / Surrey Central).
- Surrey Central SkyTrain Station and surrounding transit hub are approximately 1 kilometre (10-minute walk) from the subject site. Planned redevelopment in the adjacent area will increase road network connections that reduce the walking distance between the SkyTrain station and this site.

Traffic Impacts

- Given the scale and uses of the proposed development, a Transportation Impact Analysis (TIA) was required to evaluate traffic impacts to the surrounding network and identify any required improvements to mitigate impacts.
- Since the site currently operates as a self-serve car wash and automotive oil change specialty shop, the existing traffic generated by the current uses were subtracted from the future forecasted trips generated by the proposed development to accurately reflect the future traffic operation. Based on industry standard rates, the current uses generate approximately 137 vehicle trips during the PM peak hour, while the proposed development is anticipated to generate approximately 106 vehicle trips, meaning there will be a net reduction in traffic generated by this site.
- Based on the negligible future traffic volumes generated by the subject site, no additional infrastructure beyond the standard frontage roadworks is required.

Road Network and Infrastructure

- 104 Avenue is an east-west Arterial Road requiring 4.0 metres dedication from the applicant to achieve the 42.0 metre road allowance to accommodate future Rapid Transit along the corridor. The applicant will be constructing a new sidewalk at the property line, treed boulevard with pedestrian lighting and one-way cycle track, with the remaining space to the existing curb as an interim wide boulevard with streetlighting.
- 138A Street is a north-south Collector Road requiring approximately 2.3 metres dedication from the applicant to achieve a standard cross-section on the east side of 138A Street and 8.0 metres interim pavement. The applicant will construct a sidewalk, treed boulevard with streetlighting, one-way cycle track and a parking pocket.
- The applicant is dedicating 2.0 metres along the existing east-west Green Lane along the southern property line to achieve 10.0 metres road allowance (ultimate 12.0 metre road allowance). The full width of dedication will be used as roadway and shoulder for the neighbouring site to the south, with the sidewalk and treed boulevard on the north subject-side of the lane within private property. The lane currently terminates at the eastern property line of the subject site but will be extended east with future development.

Access

- The primary vehicle access to the site (underground parking) and loading area will be via the east-west Green Lane along the southern property line that connects to 138A Street.
- Pedestrian access is from the main lobby along 104 Avenue on the north-east corner of the subject site, with a secondary lobby access from the Green Lane on the south-east corner.

Parking

- The proposed development includes a total of 406 parking spaces within an enclosed six-level underground parking garage, consisting of 333 resident parking spaces with 73 spaces shared between visitor and commercial uses.
- The proposed parking exceeds the minimum requirement of 392 parking spaces in the Zoning Bylaw (less than the maximum permitted 455 parking spaces), therefore no Transportation Demand Management (TDM) measures or Cash-in-Lieu of parking is being proposed.
- On-street parking will be formalized along 138A Street with a parking pocket fronting the subject site. Additional short-term parking and loading activity can be accommodated in the east-west Green Lane.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

- In addition, the applicant has highlighted the following additional sustainable features:
 - The exterior of the building adheres to passive design principles by reducing the window to wall ratio to approximately 30%, adding extensive insulated spandrel panels in select locations, and having high ambient light reflect from the white exterior;
 - The building incorporates a high performance building thermal envelope;
 - The building incorporates a energy recovery ventilator to preheat incoming outdoor air;
 - The building incorporates energy efficient mechanical systems; and
 - The building incorporates a low carbon energy system.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is designated Central Business District in the Official Community Plan, with a permitted maximum density of 3.5 FAR as noted in Figure 16 of the OCP.
- The applicant is proposing to amend Figure 16 for the site from 3.5 FAR to 5.5 FAR.
- The proposed development will be subject to Tier 1 Capital Plan Project CACs.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub located east of the central civic and downtown business core.
- The proposed development will be subject to Tier 2 Capital Plan Project CACs for the residential floor space that exceeds the permissible floor space under the 3.5 FAR designation.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management:
 - Accommodating Higher Density: Direct higher-density development into Surrey's City Centre, through the development of a high-density, mixed-use development.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Strengthen Surrey's City Centre as a dynamic, attractive and complete Metropolitan Core, by providing a mix of commercial and residential space in a comprehensively-designed development.
 - Transit Corridors: Support Transit Oriented Development along major corridors linking urban centres and employment areas, through the development of a high-density development within walking distance to the SkyTrain and other transit infrastructure.
 - Healthy Neighbourhood: Build complete, walkable and green neighbourhoods, with a high-density development connected to open space, local greenways and multi-modal transportation infrastructure.
 - Urban Design: Implement high architectural and urban design standards to create both socially and environmentally sustainable high-density development, with a unique blend of safe, beautiful, active and vibrant interconnected and publicly-accessible spaces.
 - Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria and conveys additional open space to the City.
 - Economy
 - Employment Lands: Ensure sufficient supply and efficient use of employment lands, with the development of commercial space close to the core of City Centre.
 - Employment, Investment and Innovation: Ensure high-quality, business innovation and diversified employment and investment opportunities, through the development of commercial space.

Secondary Plans

Land Use Designation

- The subject site is designated Mixed-Use 3.5 FAR in the City Centre Plan.
- The applicant is seeking a gross density of 6.2 FAR and is therefore proposing a City Centre Plan Amendment to redesignate the site to Mixed-Use 5.5 FAR.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub located east of the central civic and downtown business core.
- The proposed development will be subject to both Tier 1 and Tier 2 Capital Plan Project CACs.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Build Density and Mixed-Use, by providing a mix of commercial and residential space.
 - Encourage Housing Diversity, with a mix of condominium units and a variety of unit types and sizes.
 - Create Vibrant Urban Space, with a publicly accessible open space along 104 Avenue and a strong public realm along 104 Avenue.
 - Encourage Office and Employment, by providing approximately 994 m² of ground floor commercial retail units.

CD By-law

- The applicant proposes to rezone the subject site from "Highway Commercial Industrial Zone (CHI)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use tower. The proposed CD Bylaw identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 135 Zone (RM-135)" and the "Community Commercial Zone (C-8)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RMC-135 Zone and C-8 Zone and the proposed CD Bylaw is illustrated in the following table.

Zoning	RM-135 Zone (Part 25)	C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	2.5 FAR	0.8 FAR	7.3 FAR (net)
Lot Coverage:	33 %	50%	74%
Setbacks: East: West: South: North:	50% of the height of the building		4.5 metres 4.5 metres 4.5 metres 4.5 metres
Principal Building Height:	N/A	12 metres	112 metres

<p>Permitted Uses:</p>	<ul style="list-style-type: none"> • Multiple unit residential buildings • Ground-oriented multiple residential buildings 	<ul style="list-style-type: none"> • Retail stores; • Personal service uses; • General service uses; • Beverage container return centres; • Eating establishments; • Neighbourhood pubs; • Liquor stores; • Office uses; • Parking facilities; • Automotive service uses; • Indoor recreational facilities; • Entertainment uses; • Assembly Halls; • Community services; • Child care facilities; and • One dwelling unit 	<ul style="list-style-type: none"> • Multiple unit residential buildings; • Ground-oriented multiple residential buildings; • Retail stores; • Personal service uses; • General service uses; • Eating establishments; • Neighbourhood pubs; • Liquor stores; • Office uses; • Indoor recreational facilities; • Entertainment uses; • Community services; and • Child care facilities.
<p>Amenity Space</p>			
<p>Indoor Amenity:</p>	<p>717 sq.m</p>	<p>1,543 sq.m</p>	<p>The proposed 1,543 m² exceeds the Zoning By-law requirement.</p>
<p>Outdoor Amenity:</p>	<p>1,028 sq.m</p>	<p>1,616 sq.m</p>	<p>The proposed 1,616 m² exceeds the Zoning By-law requirement.</p>
<p>Parking (Part 5)</p>		<p>Required</p>	<p>Proposed</p>
<p>Number of Stalls</p>			
<p>Commercial:</p>	<p>40</p>	<p>39</p>	
<p>Residential:</p>	<p>312</p>	<p>333</p>	
<p>Residential Visitor:</p>	<p>34</p>	<p>34</p>	
<p>Total:</p>	<p>392</p>	<p>406</p>	
<p><i>Accessible:</i></p>			
<p>Bicycle Spaces</p>			
<p>Residential Secure Parking:</p>	<p>409</p>	<p>409</p>	
<p>Residential/Commercial Visitor:</p>	<p>7</p>	<p>7</p>	

- The proposed CD By-law will incorporate similar uses as the RM-135 Zone for the residential component and the C-8 Zone for the commercial component.

- The proposed net floor area ratio (FAR) of 7.3 and the lot coverage of 74% will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone.
- The proposed density complies with the proposed Mixed-Use 5.5 FAR designation in the Surrey City Centre Plan, when calculated on the gross site area, and the proposed lot coverage is appropriate for the proposed high-rise development with podiums and is consistent with proposed surrounding developments.
- The RM-135 Zone requires the setbacks to be 7.5 metres (25 ft.) or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks in the CD By-law. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines.
- The proposed commercial uses are in demand and are appropriate for a mixed-use development in the City Centre, providing opportunities for employment, entertainment and service uses.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,000 per new unit.
- The proposed development is subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the City Centre Plan designation, which will be calculated in accordance with the flat rates under Schedule G of the Zoning Bylaw and payable prior to Final Adoption. The amount of floor space subject to Tier 2 CACs will be determined in advance of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 18, 2022, and the Development Proposal Signs were installed on May 18, 2022. Staff received no responses from surrounding neighbours.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The proposed development is a 34-storey mixed use building, including a 6-storey podium, with commercial uses on the ground floor.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through tower and podium refinement, public realm, and street interface. The applicant has continued to work with staff on an ongoing basis to resolve specific design-related concerns.
- The site is rectangular in shape and has a slope from the east property line down to the west with over 3 metres of grade change, which has been responded to in the proposed grading and landscape design.
- Primary access to the development's lobbies and retail frontages are located along 104th Avenue. The natural slope of the site is addressed by dropping the commercial floor slabs to meet the sidewalk grade with flush entries into the lobbies and commercial units.
- Along the green lane, four ground-oriented townhouse units create residential connections along the lane with a secondary access point to the residential lobby at the south-east corner, creating a through-lobby connection from 104 Avenue to the green lane.
- Linear public plazas are provided along 138A Street and 104 Avenue, as opposed to a typical corner plaza to work with the sloping grades and provide an opportunity for seating and an outdoor patio connected to the commercial units. Further design details of this space are required, and a statutory-right-of-way is required to be registered over this space to ensure public accessibility.

- The proposed building form adopts the mixed modern architectural vocabulary of the high-rise typology currently populating Surrey City Centre. Broken down into four distinct elements the building design references the idea of stacked boxes with distinct colours. The coloured feature elements, the residential lobby articulation, the tower, and lower podium portions, creates visual interest with an attractive and unique composition.
- The lively streetscape is reinforced with spandrel glass cladding that creates a mirror effect to reflect the vibrancy of the public realm. With an orthogonal window and balcony grid, the white boxes bridge across the podium and up the tower form. The blue element pulls the eye up the tower as it wraps above the white box and around the other half of the tower.
- The following urban design items are required to be addressed prior to final adoption:
 - Refinement of the architectural expression of the “stacked box” expression;
 - Refinement of the public realm interface and landscape details; and
 - Coordination of the grade change along 138A Street.

Landscape

- The landscape concept has been designed to respond to the urban nature of City Centre as an active, pedestrian-friendly space for commercial visitors and residents. The overall design responds to the active nature of 104 Avenue, considers site circulation, navigates the significant slope, and incorporates a clear interface between the public and private realm.
- The corner plaza is proposed as linear features that are located at the north-west, west, and north portions of the site and incorporates flush planting, columnar trees, custom benches, and hardscaping.
- Private outdoor areas are envisioned next to the commercial retail units at grade to create a café promenade environment. These spaces are delineated by landscaping and grading conditions.
- An open lawn is proposed as a central and key focal point in the outdoor amenity space and provides an opportunity for active recreation use by residents. This outdoor space includes a children’s play area and multiple seating options for resident’s gathering around the open lawn area.
- The ground floor townhouse units along the lane include a private patio space with soft landscape screening and private gate with layered planting consisting of a variety of shrubs.
- There are several outdoor areas proposed on levels 2, 7 and the rooftop designed as green outdoor areas with both programmed and passive space.

Indoor Amenity

- Per the required Indoor Amenity Space requirements, high-rise towers that are 25 storeys or higher must meet a base requirement of 3 square metres per unit up to 557 square metres per tower, which equates to 186 units, plus 1 square metre per unit above 557 square metres, plus 1 additional square metre for each lock-off unit.

- Based upon the City's Zoning Bylaw requirement, the proposed development must provide 717 square metres of indoor amenity space to serve the residents of the proposed 341 units, including 5 lock-off units.
- The applicant is proposing 1,543 square metres of indoor amenity space located throughout the development, which exceeds the total indoor amenity space required under the Zone.
- The indoor amenity space proposed on levels 2, 7 and the rooftop include meeting space with table and chairs, multi-purpose room, games room, lounge area, gym, and function rooms. These spaces are connected to the outdoor amenity areas.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit of outdoor amenity space, 1,028 square metres of outdoor amenity space is required for the proposed development.
- Overall, the proposed outdoor amenity space provided through private, programmed amenity is 1,616 square metres which exceeds the outdoor amenity space requirement.
- The outdoor amenity space proposed on level 2 includes a large central open lawn space with multiple smaller scale hardscaped centered around the open lawn. The outdoor spaces on levels 7 and the rooftop includes a large courtyard, tables, benches as well as moveable table and chairs.
- Private outdoor amenity space is also provided on Level 7 (associated with the indoor amenity area) with table and chairs and bench seating and includes covered outdoor areas..

TREES

- Philip Kin Cho, ISA Certified Arborist of BC Plant Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Hedge Maple	3	3	0
Red Maple	1	1	0
Katsura	1	1	0
Sweet Gum	1	1	0
Total (excluding Alder and Cottonwood Trees)	6	6	0

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	65
Total Retained and Replacement Trees	65
Contribution to the Green City Program	No contribution required

- The Arborist Assessment states that there are a total of 6 mature trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 12 replacement trees on the site. The applicant is proposing 65 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 104 Avenue and 138A Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Vine Maple, Paperback Maple, Dwarf Apple Tree, Serbian Spruce, Dwarf Cherry Tree, and Fragrant Stryax.
- In summary, a total of 65 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VII for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	OCP Redesignation Map
Appendix VI.	ADP Comments and Response
Appendix VII.	City Centre District Energy Map

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

IM/cm

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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104th AVENUE

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE, SURREY, BC
 CITY OF SURREY FILE No. 7921-0285-00

PROJECT

**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**

13868 104TH AVENUE,
 SURREY, BC

**REZONING /
 DEVELOPMENT PERMIT**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **dys architecture** shall be exempt of any or all liability from the operation and profession shown on the drawings. Only drawings shall be referred to **dys architecture** for review before proceeding with fabrication.

PROJECT	A220490
DRAWN	LW/SS
CHECKED	CS

SCALE	NTS
DATE	MAY 19, 2022



NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
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NO.	DATE	REVISION
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104th AVENUE Streetscape along 104th Avenue at the corner of 138a Street

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PLOT STAMP: 2022-May-19 @5:09pm - P:\A220490 - StreetSide - 13868 104 Ave Surrey\CAD\A220490_Rationale.dwg - A0.01

PROJECT TEAM

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 NEW WESTMINSTER, BC V3M 1V3
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 FAX: 604.520.6496

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 VANCOUVER, BC V6A 0H1
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 FAX: 604.801.5332

SIGNAGE
 INNOVATIVE SIGNAGE
 3765 WILLIAM STREET
 BURNABY, BC V5C 3H8
 TEL: 604.984.4395
 FAX: 604.984.4495

ARBORIST
 BC PLANT HEALTH CARE
 18465 53RD AVENUE,
 SURREY, BC V3S 7A4
 TEL: 604.575.8727
 FAX: 604.576.2972

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104th AVENUE,
 SURREY, BC

PROJECT DETAILS

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PROJECT	A220490	DRAWN	LW/S	CHECKED	CS
SCALE	NTS				
DATE	MAY 19, 2022				

A0.01

PROJECT STATISTICS

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT			
CIVIC ADDRESS	1388 146TH STREET, SURREY, BC		
LEGAL DESCRIPTION	LOT 1 BLOCK 45 STRADA 24-RANGE 26 PLAN R0151215-W0		
CITY AREA PLAN	CITY CENTRE		
LAND USE DESIGNATION	MIXED USE 15 FAR MTD TO HIGH 54		
ZONING	CURFULT PROPOSED	HIGH-WAY COMMERCIAL, INDUSTRIAL, COMPREHENSIVE DEVELOPMENT (CH)	
SITE AREAS	GROSS SITE AREA	4,730.82 SQ M	45,212.75 SQ FT
	ROAD DELIMITATION AREA	629.20 SQ M	6,740.36 SQ FT
	NET SITE AREA	3,571.20 SQ M	38,472.37 SQ FT
SITE COVERAGE	BUILDINGS & STRUCTURES	766.84 21%	
	PAVING & HARD SURFACES	744.57 21%	
SETBACKS	FRONT	1.5M (5.0 FT)	
	REAR	4.5M (15.0 FT)	
	WEST	5.5M	
	EAST	2M	
PROPOSED FLOOR AREAS	COMMERCIAL	903.60 SQ M	10,695.02 SQ FT
	RESIDENTIAL	20,347.84 SQ M	245,148.89 SQ FT
	AVENUE	1,542.58 SQ M	16,604.19 SQ FT
	TOTAL PROPOSED EXE. AMENITY	22,794.02 SQ M	262,448.10 SQ FT
PROPOSED FLOOR AREA RATIO	MAX. FAR (20%)	5.4	
	MAX. FAR (15%)	2.9	
BUILDING HEIGHT	MAX. REFERENCE HEIGHT	50.00 M	164.35 FT
			20.00 STOREYS
PROPOSED HEIGHTS TO CHL. FLOOR GRADE		112.00 M	367.45 FT
			36.00 STOREYS
PARKING REQUIREMENTS	RESIDENTIAL PARKING	0.21 UNITS	736.0 STALLS
	VISITOR PARKING	0.21 UNITS	34.1 STALLS
	COMBINED COMMERCIAL/VISITOR PARKING	REFER TO TRAFFIC PROVIDED BY TRANSPORT CONSULTANT	73 STALLS

PARKING AND LOADING SUMMARY					
LEVEL	PARKING		BICYCLE		
	COMMERCIAL VISITOR	RESIDENTIAL	COMMERCIAL	RESIDENTIAL	VISITOR
L1				2	4
L1	24			38	
L2	26			370	
L3	21	50			
L4		94			
L5		30			
L6		20			
SUB-TOTAL	71	319		410	
REQUIRED	73	307		1	409
REGULAR	70			321	
SMALL CAR		4			
H.C.	5				

UNIT SUMMARY	STUDIO	1 BR	1 BR + DEN	2 BR	2 BR + DEN	3 BR	3 BR	Proposed Per floor
LEVEL 1 - MEZZ. TOWNHOUSES	-	-	-	-	4	-	-	4
LEVEL 2	-	7	5	4	1	1	-	18
LEVEL 3	-	2	11	4	1	1	-	19
LEVEL 4	-	2	11	4	1	1	-	21
LEVEL 5 - 6 (PER FLOOR)	2	2	3	4	-	-	-	9
LEVEL 8 - 13 (PER FLOOR)	1	2	2	4	-	-	-	10
LEVEL 14	1	2	2	4	-	-	-	6
LEVEL 15 - 31 (PER FLOOR)	2	2	2	4	-	-	-	6
LEVEL 32	-	-	-	6	-	-	-	6
TOTAL	45	57	97	122	9	5	6	341
(MULTIPLIED BY NO. OF FLOORS)								
PERCENTAGE	13.20%	16.72%	28.45%	35.78%	2.64%	1.47%	1.76%	100%

AMENITY SUMMARY FOR 25+ STOREYS					
INDOOR AMENITY	# OF UNITS	REQUIRED		PROVIDED	
		SM	SF	SM	SF
MINIMUM (3sm/unit)	336	1028.00	10850.00	1537.58	16550.37
LOCK-OFF UNITS (1sm/unit)	5	5.00	53.82	5.00	53.82
TOTAL	341	1033.00	10903.82	1542.58	16604.19
		EXCESS INDOOR AMENITY AREA		529.58	5700.35
OUTDOOR AMENITY	# OF UNITS	REQUIRED		PROVIDED	
		SM	SF	SM	SF
MINIMUM (3sm/unit)	336	1008.00	10850.00	1586.00	17179.20
LOCK-OFF UNITS (4sm/unit)	5	20.00	215.28	20.00	215.28
TOTAL	341	1028.00	11065.30	1616.00	17394.48
		EXCESS OUTDOOR AMENITY AREA		588.00	6329.18

DENSITY SUMMARY								
LEVEL	PROGRAM	GROSS FLOOR AREA	EXCLUSIONS					METRIC
			AMENITY	MECH / ELEC	BIKE PARKING	RESIDENTIAL	COMMERCIAL	
	MECH. RM	121.7		121.7				4.50
	TR. AREA	117.1		117.1				4.00
	13 Automobile	435.5	342.5	2.6		90.7		1.50
	10 Bicycles	673.4		6.3		144.7		1.50
	12	673.4		6.3		144.7		1.50
	30	673.4		6.3		144.7		1.55
	20	673.4		6.3		144.7		1.65
	38	673.4		6.3		144.7		1.55
	32	673.4		6.3		144.7		1.55
	26	673.4		6.3		144.7		1.55
	25	673.4		6.3		144.7		1.55
	34	673.4		6.3		144.7		1.55
	33	673.4		6.3		144.7		1.55
	22	673.4		6.3		144.7		1.55
	21	673.4		6.3		144.7		1.55
	20	673.4		6.3		144.7		1.55
	19	673.4		6.3		144.7		1.55
	28	673.4		6.3		144.7		1.55
	17	673.4		6.3		144.7		1.55
	16	673.4		6.3		144.7		1.55
	25	673.4		6.3		144.7		1.55
	24	673.4		6.3		144.7		1.55
	13	721.2		6.2		146.6		1.50
	12	721.2		6.2		146.6		1.45
	11	721.2		6.2		146.6		1.45
	10	721.2		6.2		146.6		1.55
	9	721.2		6.2		146.6		1.55
	7	721.2	574.9	7.3		118.8		1.70
	6	1,342.7		7.6		1,421.0		1.20
	5	1,342.7		7.6		1,421.0		1.55
	4	1,352.6	70.5	7.8		1,275.1		1.55
	3	1,387.2		8.1		1,416.2		1.65
	2	1,391.1	10.2	7.8		1,433.3		1.55
	MEZANINE	627.6	403.0	3.1		423.6		1.55
	1	188.7	283.3	3.1		507.7	593.6	1.55
	TOTAL	24,067.8	1,544.6	784.1		25,047.4	593.6	307.75
				TOTAL FAR PROPOSED (SM)		26,042.0		

CLIENT

STREETSIDE DEVELOPMENTS

- NO. | DATE | ISSUE
- 1 | 2021-05-17 | ISSUED FOR RZ/DP
 - 2 | 2022-02-25 | REISSUED FOR RZ/DP
 - 3 | 2022-04-25 | REISSUED FOR RZ/DP
 - 4 | 2022-04-12 | ISSUED FOR ADP
 - 5 | 2022-05-19 | REISSUED FOR RZ/DP

NO. | DATE | REVISION

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 1388 104TH AVENUE, SURREY, BC

PROJECT STATS

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PROJECT A220490
 DRAWN LM CHECKED CS

SCALE NTS
 DATE MAY 19, 2022

A0.02

**SUBDIVISION PLAN OF LOT 1
SECTION 26 BLOCK 5 NORTH RANGE 2 WEST
NEW WESTMINSTER DISTRICT PLAN BCP15711**

PLAN EPP

BCGS 92G.016



SCALE 1 : 400 DISTANCES ARE IN METRES

THE INTENDED PLOT SCALE OF THIS PLAN IS
560 mm IN WIDTH BY 432 mm IN HEIGHT (C SIZE)
WHEN PLOTTED AT A SCALE OF 1:400.

INTEGRATED SURVEY AREA No. 1, SURREY
NAD83(CRS) 4.0.G.B.C.1.MYRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 92H0889 AND 92E1 AND ARE
REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 10.

THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY
ACHIEVED ARE DERIVED FROM THE MOST PUBLISHED COORDINATES
FOR GEODETIC CONTROL MONUMENTS
92H0889 AND 92E1.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS
OTHERWISE SPECIFIED, TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE CORNER FACTOR OF
0.998591 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL
MONUMENTS 92H0889 AND 92E1.

Sec 26

Rem. 83
PLAN 45413

LEGEND

FOUND PLACED

- ⊙ DENOTES CONTROL MONUMENT
- □ DENOTES LEAD PLUG
- ○ DENOTES STANDARD IRON POST
- NF DENOTES NOTHING FOUND
- UO DENOTES UNKNOWN ORIGIN
- WL DENOTES WITNESS
- m² DENOTES SQUARE METRES
- ha DENOTES HECTARES
- Bl. DENOTES BLOCK
- Ex. DENOTES EXPLANATORY

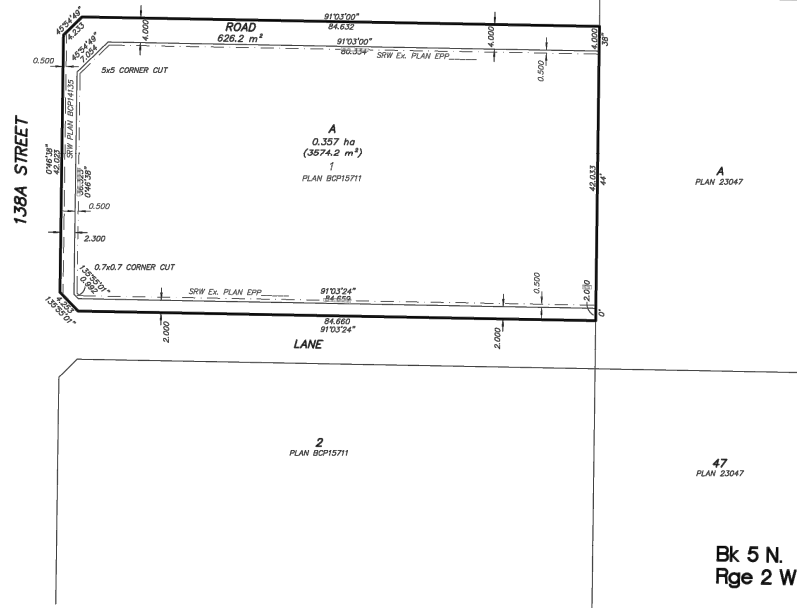
NOTE: THIS PLAN SHOWS ONE OR MORE WITNESS POSTS
WHICH ARE NOT SET ON THE TRUE CORNER(S).

THIS PLAN LIES WITHIN THE JURISDICTION OF THE
APPROVING OFFICER FOR THE CITY OF SURREY.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE 19th DAY OF xxx, 202x
STEPHEN ANDRUS, BCS (1022)
EOR#:

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT

104TH AVENUE



NAD83 (CRS) 4.0.G.B.C.1.MYRD UTM ZONE 10 COORDINATES			
TABLET MARKING	NORTHING	EASTING	ABSOLUTE ACCURACY
92H0889	5444782.606 m	511281.259 m	0.01 m
5821	54448912.408 m	511524.631 m	0.04 m

DRAFT MARCH 2, 2022

BUTLER SUNDEWICK
4 - 19089 94th Ave
Surrey, BC V4N 0S4
www.butlersundewick.ca
Tel. 604-513-9611

File: 5359
Dwg: 5359-S1

PROPOSAL

The proposed development, located within the Central Business District of the Surrey City Centre neighbourhood, is sited at 13868 104th Avenue, east of King George Boulevard and north of 140th Street. Transitioning from low-rise industrial buildings to high-rise mixed-use residential developments, the surrounding context is rapidly changing. The site, rectangular in shape, has a slope from the east property line down to the west with over 3 m of grade change. Dedications have been provided on all street frontages of the site to enhance the boulevards and widen the streets.

The proposed development application consists of a 33-storey high-rise residential tower atop a six-storey residential podium with at-grade commercial retail along 104th Avenue and townhouses along the lane. Six levels of underground parking, accessed from the southern lane, provides parking for all visitors, employees, and residents. The ground-oriented townhouse units are designed with individual entries off the enhanced Green Lane to create a human scale residential presence along the lane. Double height commercial retail units line 104th Avenue and wrap around onto 138A Street to create an active public realm. The six-storey podium has been articulated to draw the eye up and frame the urban space. The multiple levels of landscaped courtyards with interconnected indoor amenity spaces, designed on level 2 and above the six-storey podium, provides an abundance of active indoor and outdoor spaces. The rooftop level has been designed as a sky lounge with indoor and outdoor amenity spaces catered towards socializing and connecting with fellow residence. The development strives to create a vibrant and inclusive community for all ages and circumstances.

Access to the towers primary entry is located off 104th Avenue, providing access into the double height lobby and amenity mezzanine above. Loading areas are provided from the lane, beside the underground parking ramp, with direct access into the commercial retail corridor. Situated off the lane, the secondary tower entry provides ease of access for residential loading.

The overall development will consist of 342 residential units of varying sizes to create a well-balanced community. The rental density is located within the residential podium with strata units in the tower above and townhouses along the lane. The multiple levels of indoor and outdoor amenity space are to be shared by all residence of the development. The unit types consist of approximately 15% studios, 45% 1-bedrooms, 35% 2-bedrooms, and 5% 3-bedrooms with 5 of those 3-bedrooms being lock-off units. The proposal also provides around 2.5% adaptable units.

The proposed building form adopts the mixed modern architectural vocabulary of the high-rise typology currently populating the Surrey City Centre neighbourhood. The ground floor seeks to activate the public realm with multiple commercial retail units and enhanced streetscapes with a public plaza at the corner of 104th Avenue and 138A street. Located on the edge of the Surrey City Centre neighbourhood, the lobby entries and podium above create visual interest, drawing the eye down 104th Avenue while framing the public spaces. The orthogonal building design and tower siting optimizes access to daylight for both this development and adjacent properties.



104th AVENUE at 138A STREET Aerial View of the Development with the Current Surrounding Context

CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE, SURREY, BC

RATIONALE PROPOSAL

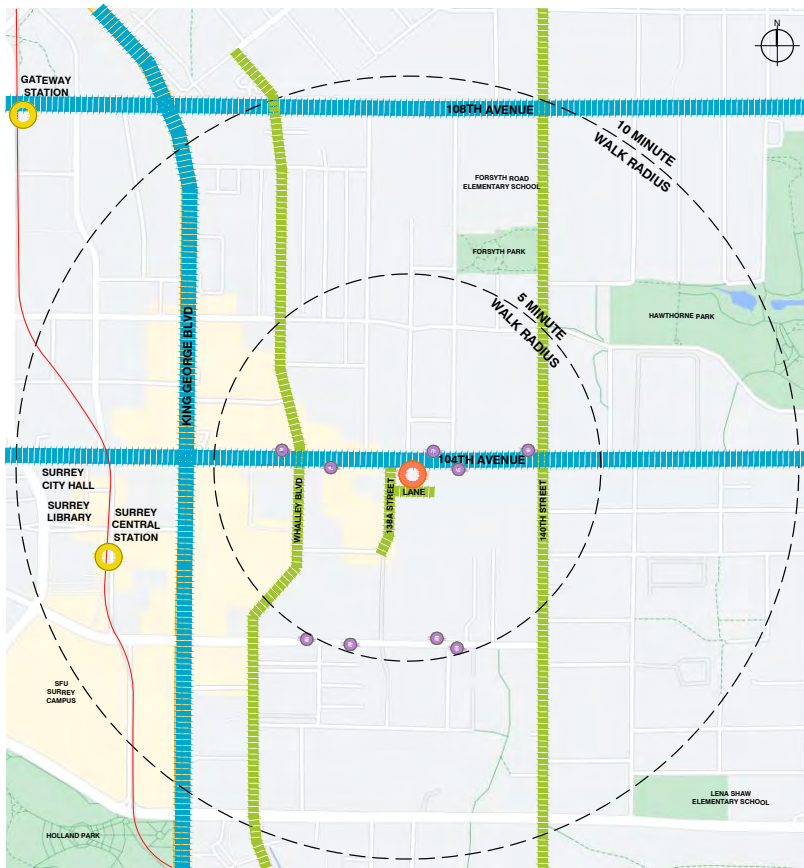
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SCALE NTS
 DATE MAY 19, 2022

A0.05

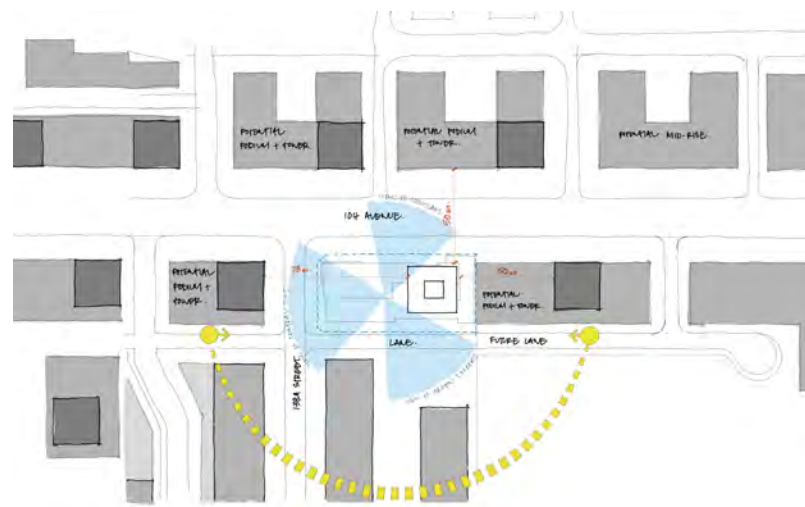


SITE CONTEXT Surrounding Neighbourhood

- **SITE**
- **SKYTRAIN STATION**
- **BUS STOP**
- ▬ **ARTERIAL ROAD**
- ▬ **SECONDARY ROAD**
- ▬ **SKYTRAIN**

SITE ANALYSIS

The site is easily accessible by public transit, car and via pedestrian routes. It is a 10-minute walk or a short bus ride from Surrey Central Station. It benefits from close proximity to a variety of local amenities on Whalley Boulevard and King George Boulevard which are the main North/South vehicular thoroughfares connecting the site to Central City mall and the SFU Surrey Campus. The main arterial road of 104th Avenue connects East-West vehicular traffic and links the site to Surrey City Hall, Library and Civic Plaza.



SITE FORCES Plan Diagram with Future Context

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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE, SURREY, BC

RATIONALE SITE ANALYSIS

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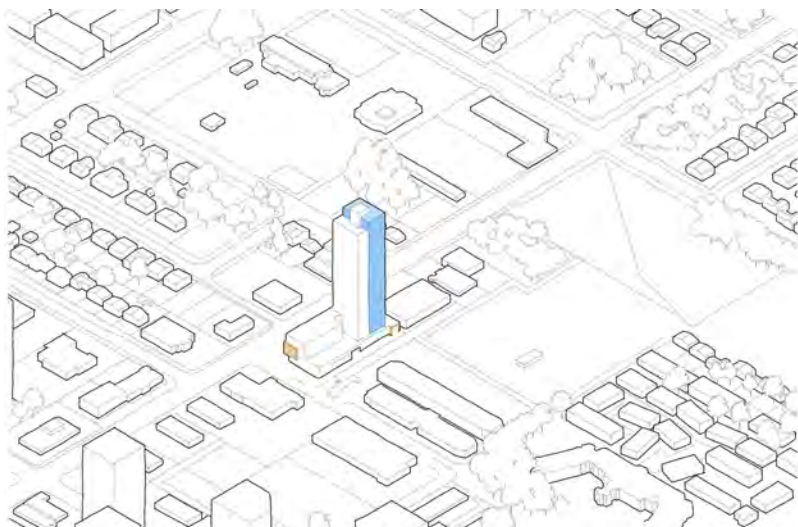
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STREETSIDE DEVELOPMENTS

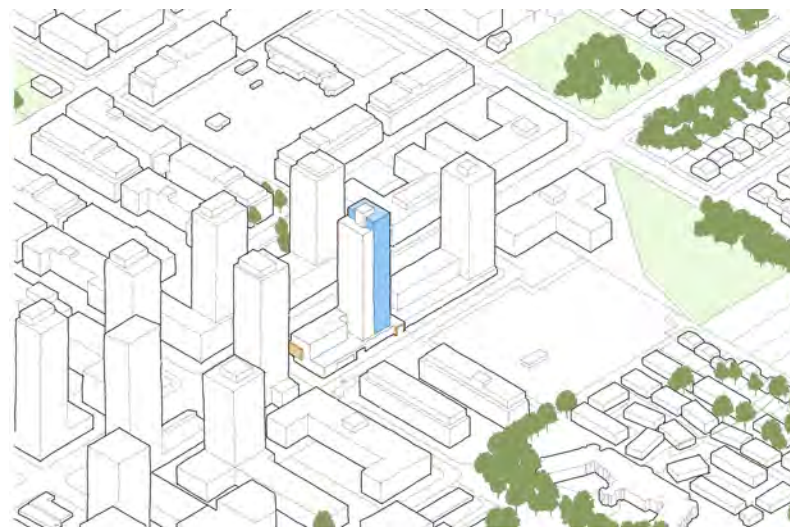
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SITE AXONOMETRIC Interim Context



SITE AXONOMETRIC Future Context



SITE ANALYSIS

The site is rectangular in shape and has a slope from the east property line down to the west with over 3m of grade change. It is approximately 48m North/South by 87m East/West and it has a reduced developable footprint through a 4m dedication to 104th Avenue, a 2.3m dedication for 138A Street and a 2m dedication to the South on the lane side. In addition to this is a 4.5m podium setback which defines the extents of the Ground Floor layout. Parkade access is from the lane and is near the centre of the lot to alleviate any impacts to the traffic on 138A Street. A further 0.5m SRW is required beyond the dedications and the new property line. This sets a limit for the parkade walls and defines the edge of the proposed above grade landscape elements at L1.

Primary access to the development's residential lobby, commercial lobby and retail unit frontages are located on the main arterial street of 104th Avenue along the north property line. The natural slope of the site on the east-west access creates the need for stepped access points from the boulevard into the commercial retail units. Along the west property line, the required 138A Street dedication and podium setback provides space for a 'linear' public plaza to encourage movement and enliven the commercial retail frontages on 138A Street. The double height floor space on Level 1 allows for a grand lobby and commercial retail units with townhouses occupying the mezzanine level along the lane. Making up the first six-stories, the podium provides outdoor amenity space for residents on both level 2 and level 7. The 80m wide east-west façade along 104th Avenue creates an opportunity to breakdown the architectural expression to create a strong street wall expression. The commercial retail units wrap the streetscape along 104th Avenue and 138A Street with an internal loading corridor and loading bay accessed from the lane. Along the enhanced Green Lane, the four ground-oriented townhouses create residential connections at the lane with a secondary access point into the residential lobby at the south-east corner. The grand residential lobby at the far east of the site has access points from both 104th Avenue and the lane.

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE,
 SURREY, BC

**RATIONALE
 SITE ANALYSIS**

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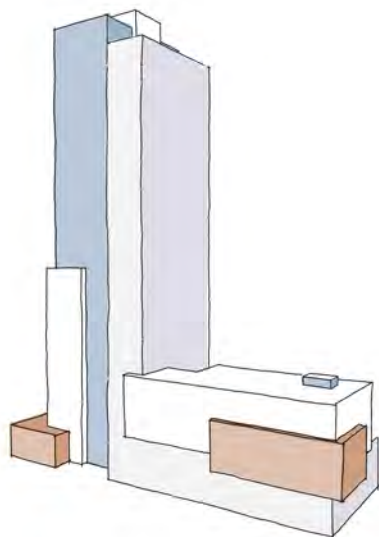
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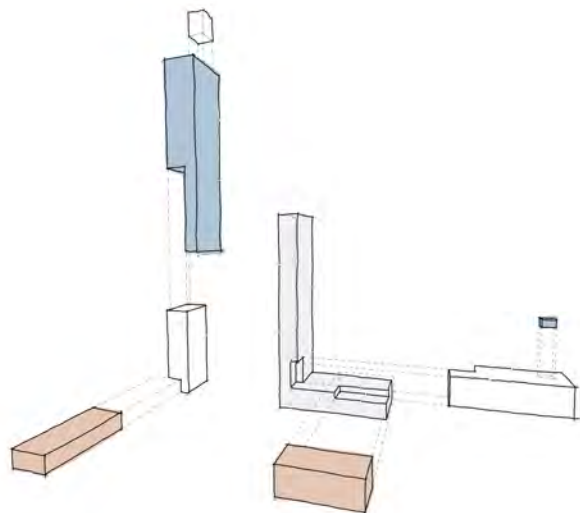
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CLIENT

STREETSIDE DEVELOPMENTS



MASSING DIAGRAM Overall Building Form



MASSING DIAGRAM Exploded Building Elements

BUILDING FORM

Broken down into four distinct elements, the building design references the idea of stacked boxes. The coloured feature elements, wrapping the residential lobby and lower podium portion which overhangs the north-west plaza, creating points of visual interest. Located on the edge of the Surrey City Centre neighbourhood, the feature elements draw the eye down 104th Avenue. At ground level, wrapping from 104th Avenue to 138A Street, the retail units are designed to spill out onto the street. To further reinforce a lively streetscape, spandrel glass cladding creates a mirror effect, reflecting the vibrancy of the enhanced public realm. The neutral grey spandrel glass element wraps the streetscape and continues up, expressing half the tower form. Reflecting the colours of the sky, the spandrel glass creates a seemingly transparent element. The white boxes, stacked upon the features elements, provide a moment of calm between the different building elements. With an orthogonal window and balcony grid, the white boxes bridge across the podium and up the tower form. Starting as a narrow element at the ground plane, the blue element teases the observer, pulling their eye up the tower as it wraps above the white box and around the other half of the tower form.



PUBLIC PLAZA Projecting form animates the Public Realm along 138A Street

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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE,
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RATIONALE BUILDING FORM

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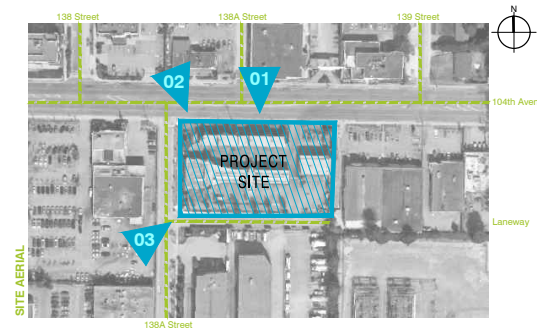
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URBAN CONTEXT



PROJECT

MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT

13868 104TH AVENUE,
SURREY, BC

RATIONALE
URBAN CONTEXT

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PRECEDENTS



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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE,
SURREY, BC

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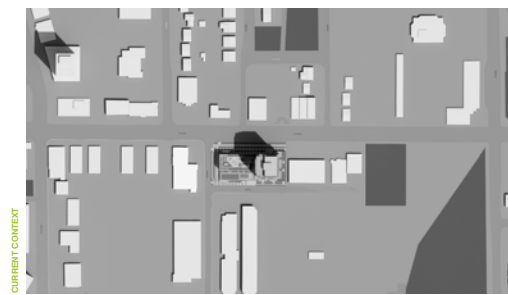
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CLIENT
STREETSIDE DEVELOPMENTS

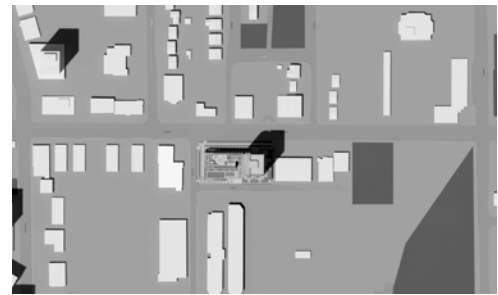
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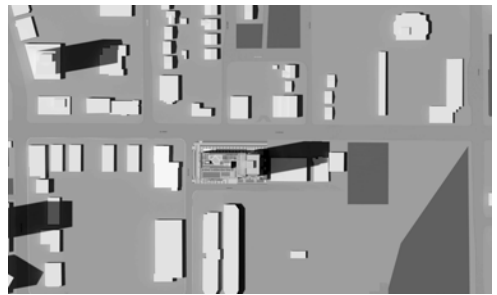


CURRENT CONTEXT

10:00AM June 21st Summer Solstice



12:00PM June 21st Summer Solstice



2:00PM June 21st Summer Solstice

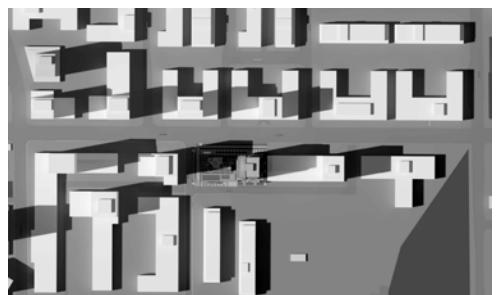


FUTURE CONTEXT

10:00AM June 21st Summer Solstice



12:00PM June 21st Summer Solstice



2:00PM June 21st Summer Solstice



CURRENT CONTEXT

10:00AM September 22th Equinox



12:00PM September 22th Equinox



2:00PM September 22th Equinox



FUTURE CONTEXT

10:00AM September 22th Equinox



12:00PM September 22th Equinox



2:00PM September 22th Equinox

PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

**SHADOW STUDIES
 CURRENT + FUTURE**

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A0.10

MATERIAL BOARD

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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE,
 SURREY, BC

RATIONALE MATERIAL BOARD

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A0.11

LANDSCAPE DESIGN CONCEPT

01 Overview

The approach to the landscape design for this project is to create dynamic and engaging spaces that are durable, functional, and resilient. The landscape design intends to anchor the project in the neighborhood through an activated public realm and plaza / promenade space. Functional all-season amenities will be provided on upper-level roof area providing a diverse range of recreation options. The project will approach planting design thoughtfully so that it responds to the challenges of the urban environmental with long term success of planting as our goal. Safety and security has also been considered in the landscape design to ensure resident and visitors comfort throughout the project.

02 Level One + Public Realm

The landscape design on the ground level intends to compliment the residential and commercial uses through the provision of flush planting at grade and a clean line of columnar street trees along the 104 ave frontage to help break down the ample sidewalk areas. Narrow trees have been selected to balance the need for tree canopy cover in the urban landscape while providing clear site lines and visibility to and from commercial units along this frontage.

A key driver of the design is to activate the natural node at the corner of 138a Street and 104 avenue through the implementation of custom bench elements to frame the space, flush level planting and moveable furnishing creating a café promenade environment that is accented by overhead and integrated landscape lighting.

The residential spaces at ground level will be emphasized through complimentary changes in materiality to assist with the delineation of public and private space as well as highlight entry locations through use of contrasting paving types further assisting with passive wayfinding.

Planting treatments are designed with resiliency and maintenance in mind to ensure that selections are durable and receive adequate soil volumes to ensure success.

03 Upper-Level Landscapes

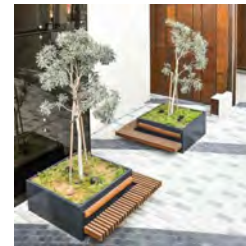
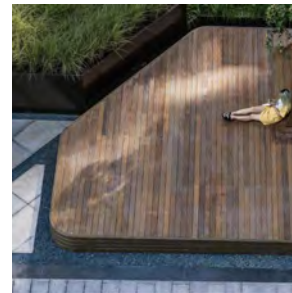
A variety of amenity areas are provided over three roofs that are geared toward a variety of passive and active programming opportunities. The amenity areas are located on level two, seven and penthouse.

The level two outdoor amenity is centered on a large flexible use lawn, raised deck-like seating and the potential for the incorporation of a water feature using water collected from adjacent roof areas.

The largely unprogrammed space is meant to be a passive refuge as it shares outdoor space with adjacent resident patios and overlooking balconies and is intended to be used for low impact lawn games, resident movie nights, outdoor office + lounging and outdoor strata meetings complimenting the indoor boardroom amenity use.

Level seven is targeted as the amenity space for active uses including a generous play area, outdoor fitness zone, community gardening / urban agriculture, dwarf fruit tree orchard and a covered outdoor group dining and entertaining area situated adjacent to the indoor amenity space.

The rooftop patio will be geared to older residents and function closely with the interior lounge space. A covered area for all-season use, fire pits and a variety of lounge and dining furnishing is provided throughout. Planting is used to provide seasonal interest and delineate outdoor rooms.



CLIENT

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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
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LANDSCAPE DESIGN CONCEPT

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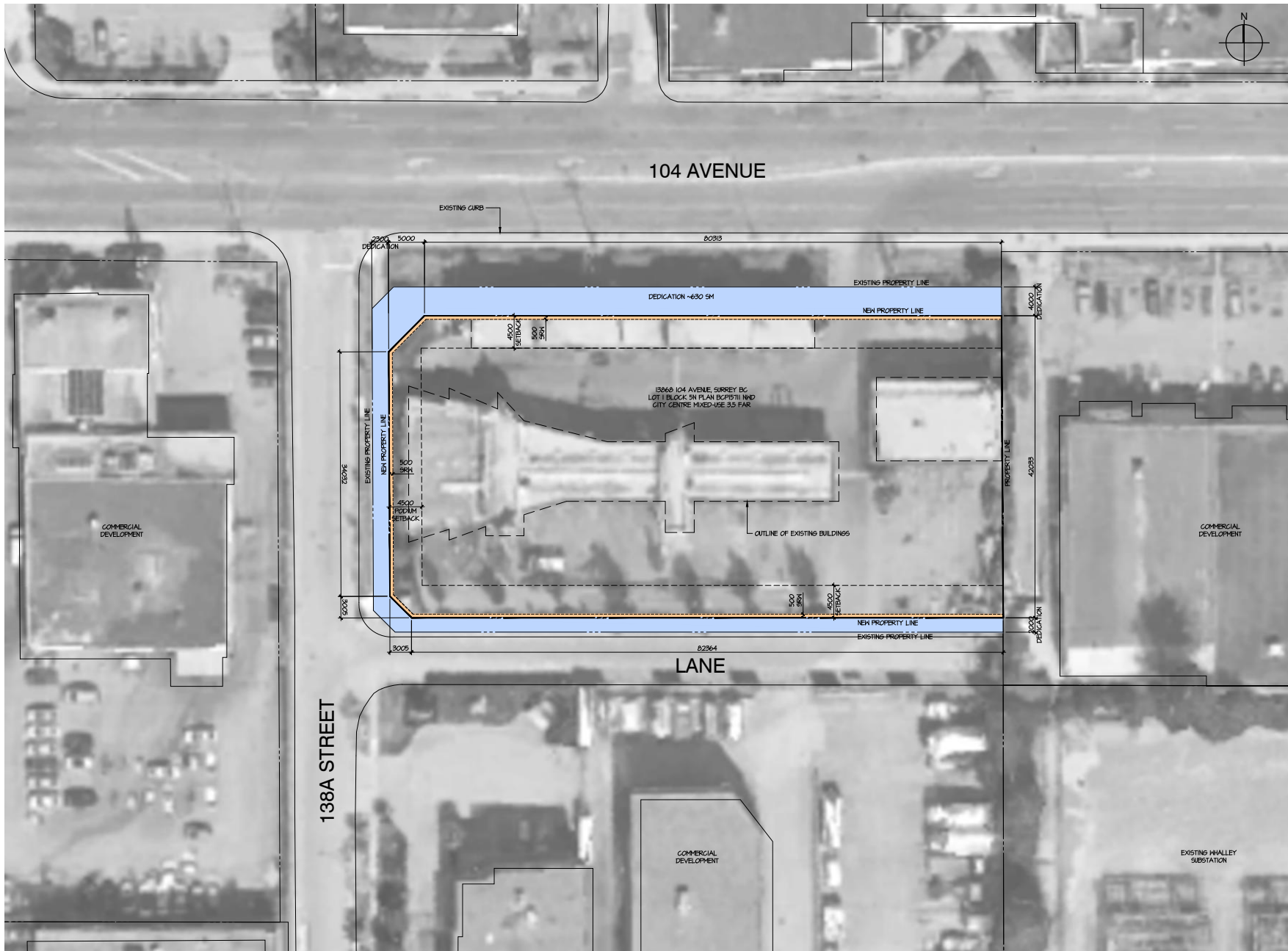
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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE, SURREY, BC

BASE PLAN

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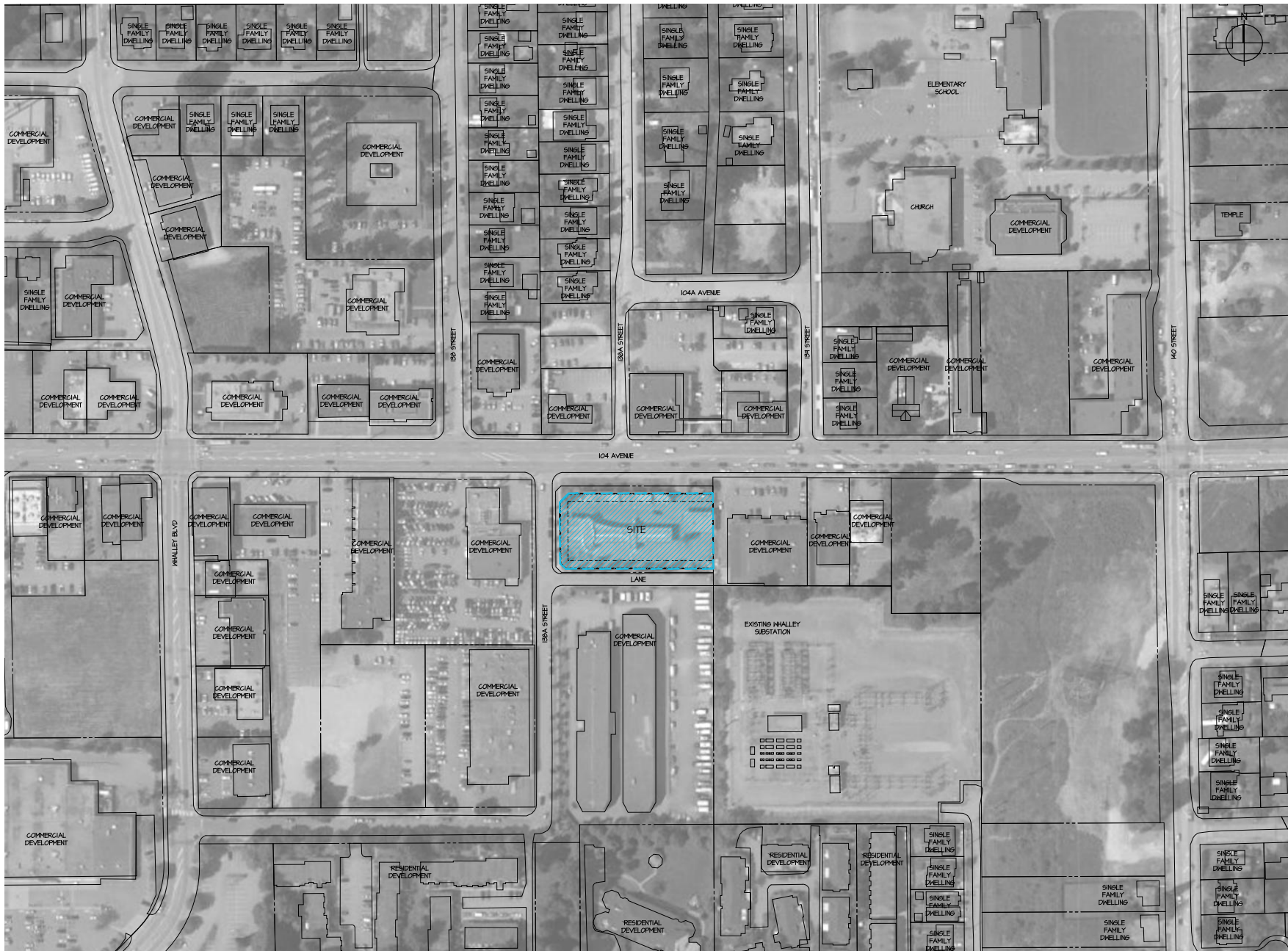
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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE, SURREY, BC

CURRENT CONTEXT

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PROJECT

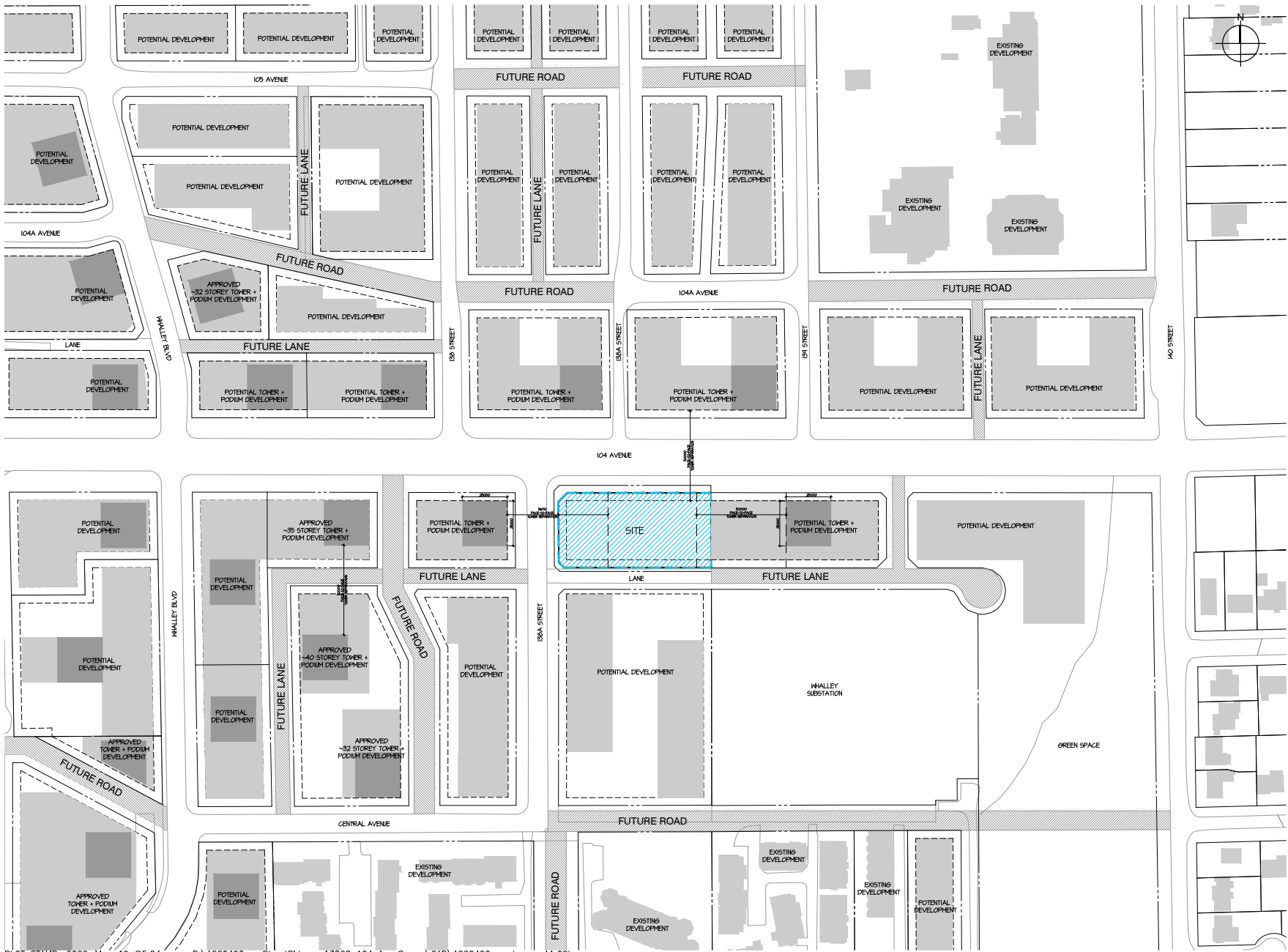
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE, SURREY, BC

APPROVED + POTENTIAL FUTURE CONTEXT

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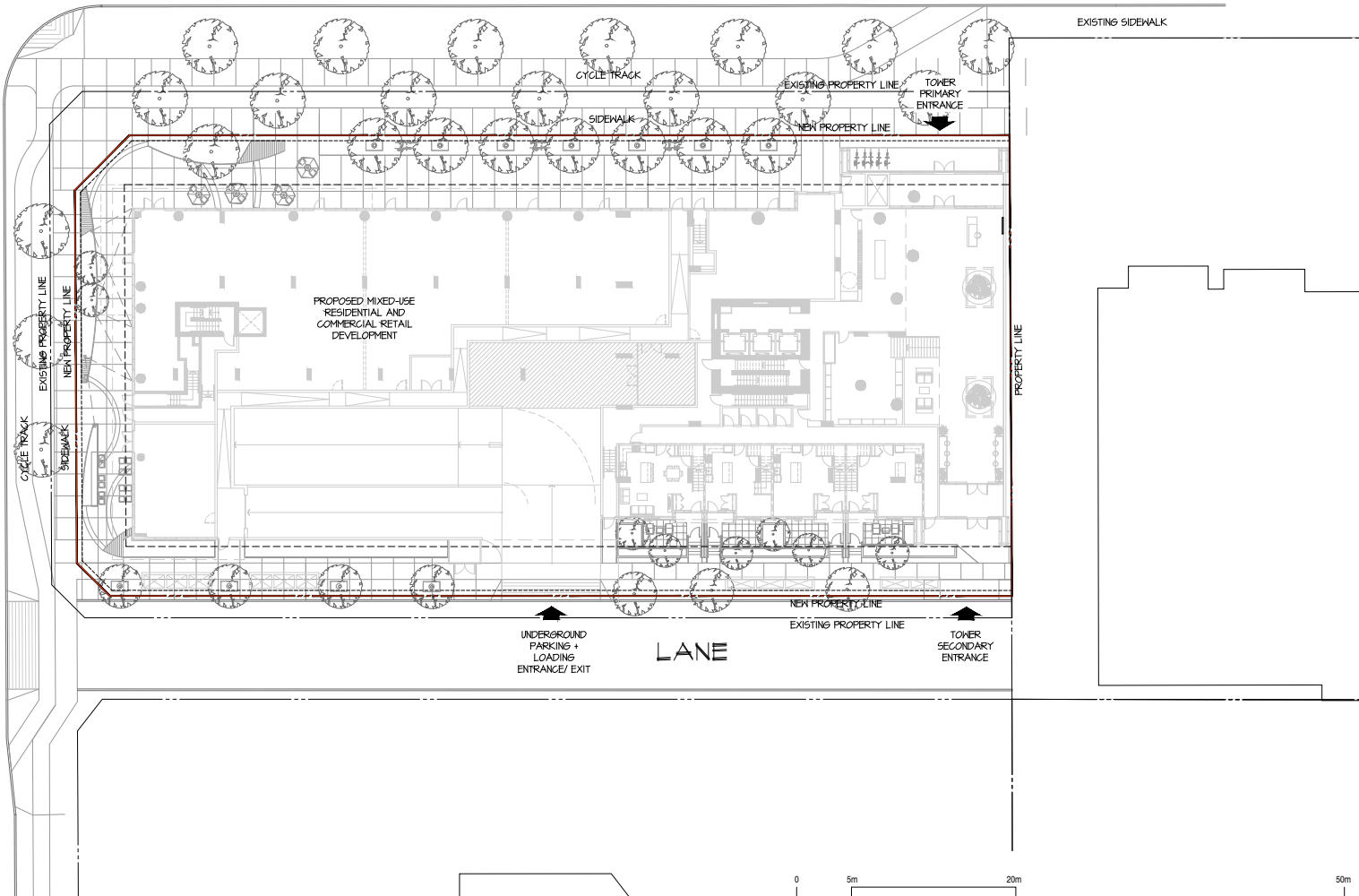
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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138A STREET

104 AVENUE



PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE, SURREY, BC

SITE PLAN INTERIM

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider details that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to its utilization.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be responsible for any variations from the dimensions and locations shown on the drawings. Only drawings shall be referred to by dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN LW/SS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022

A1.03a

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE, SURREY, BC

SITE PLAN ULTIMATE

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider details that any reproduction carries their name. All designs and other information shown on this drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be informed of any variations from the information and conditions shown on the drawings. Only drawings shall be submitted to dys architecture for review before proceeding with construction.

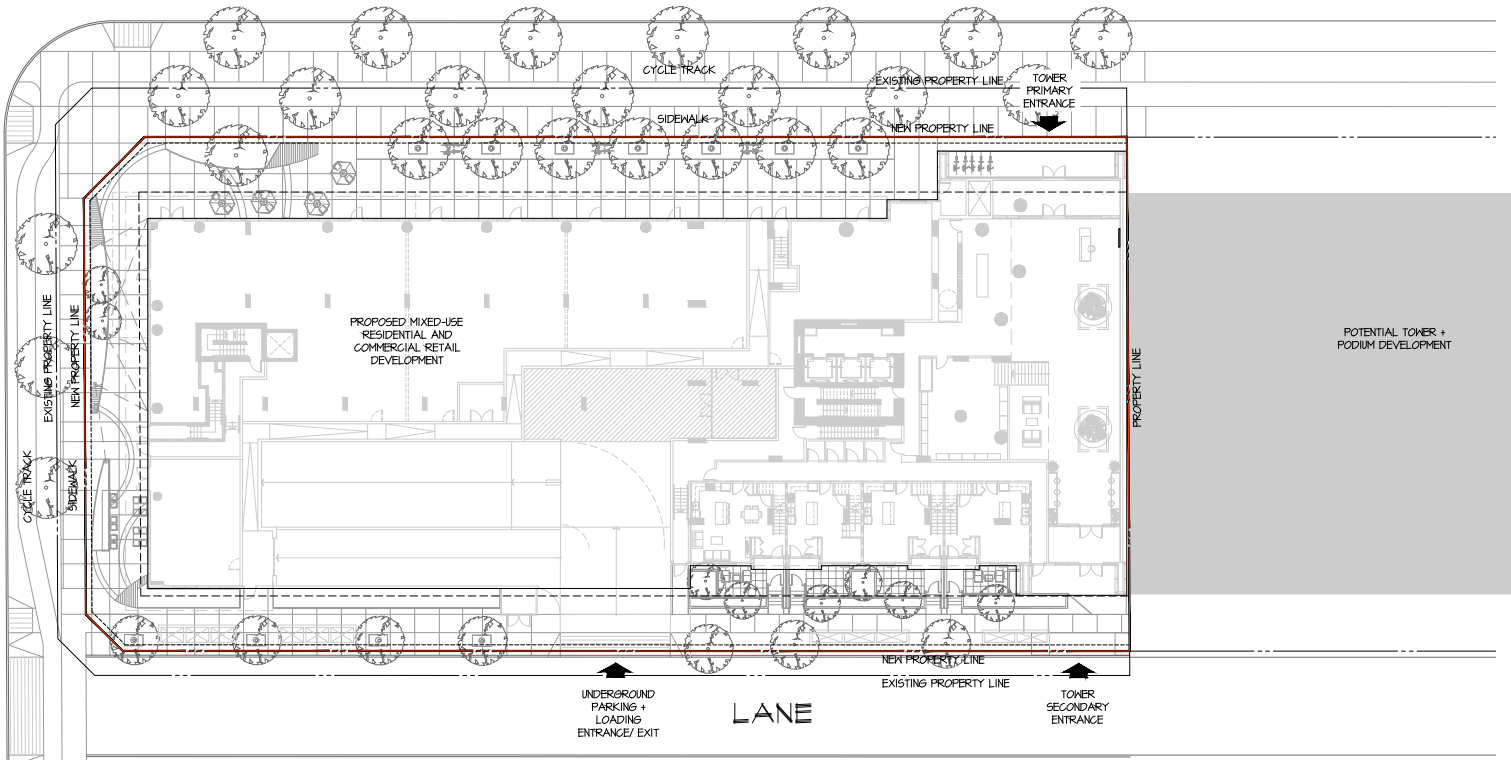
PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022



104 AVENUE

138A STREET

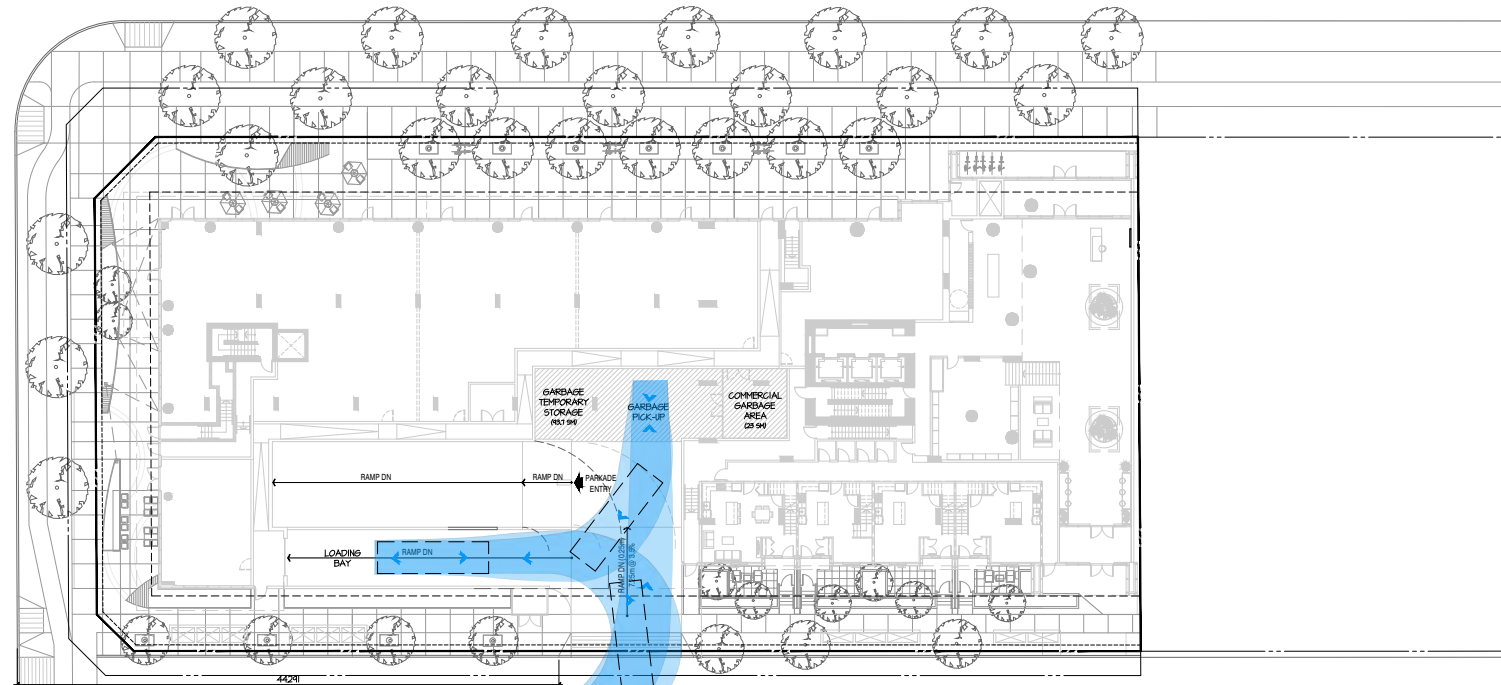


A1.03b



104 AVENUE

138A STREET



LANE

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

LOADING

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider design that any reproduction carries their name. All designs and other information shown on the drawing are for use on the specific project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to this instrument.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be informed of any variations from the dimensions and locations shown on the drawings. Only drawings shall be referred to dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN SS **CHECKED** CS

SCALE 1:200
DATE MAY 19, 2022

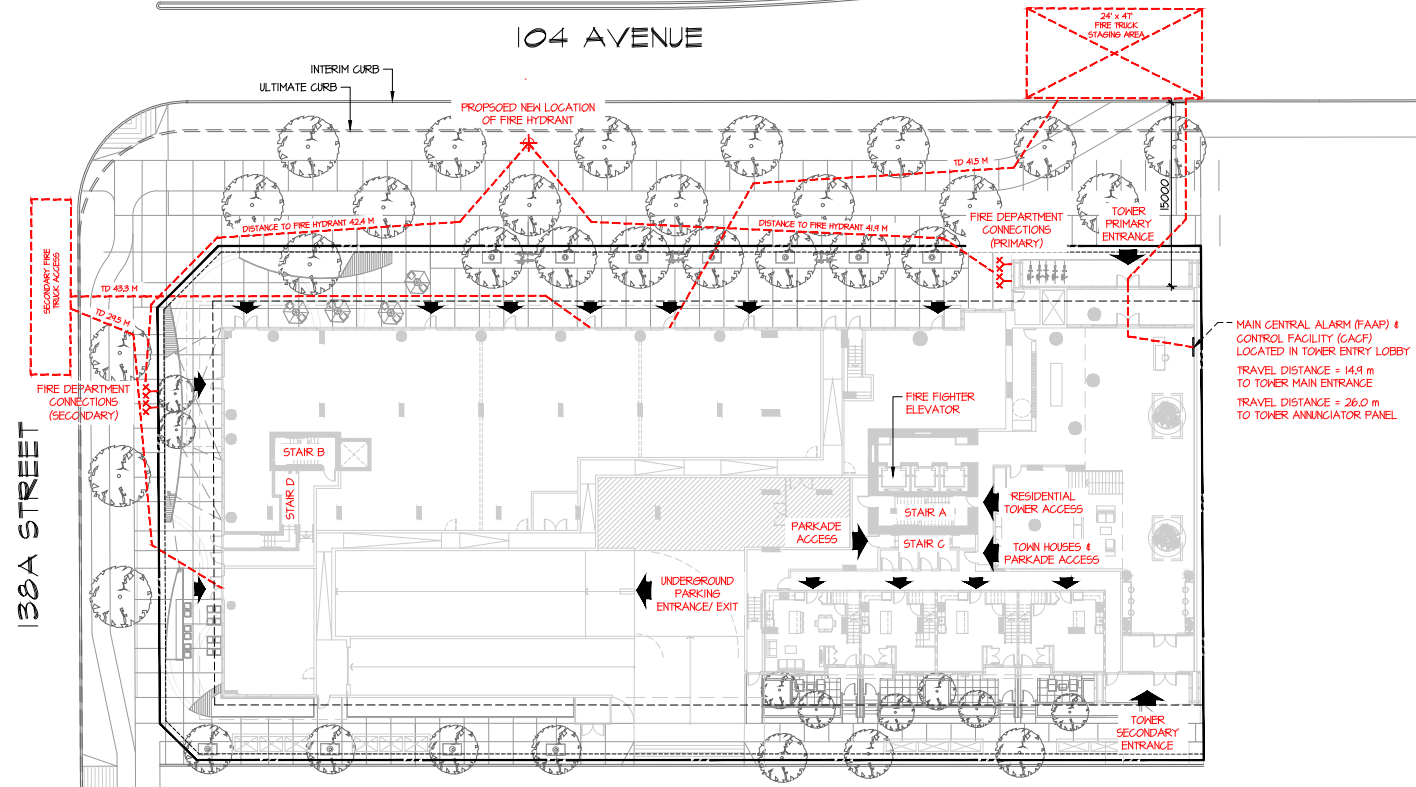




CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION



MAIN CENTRAL ALARM (FAAP) &
 CONTROL FACILITY (CAF)
 LOCATED IN TOWER ENTRY LOBBY
 TRAVEL DISTANCE = 14.4 m
 TO TOWER MAIN ENTRANCE
 TRAVEL DISTANCE = 26.0 m
 TO TOWER ANNUNCIATOR PANEL

138A STREET

104 AVENUE

LANE



PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

FIRE ACCESS PLAN

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the utilization of this drawing.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be informed of any variations from the dimensions and locations shown on the drawings. Only drawings shall be referred to by dys architecture for review before proceeding with construction.

PROJECT A220490
 DRAWN SS CHECKED CS

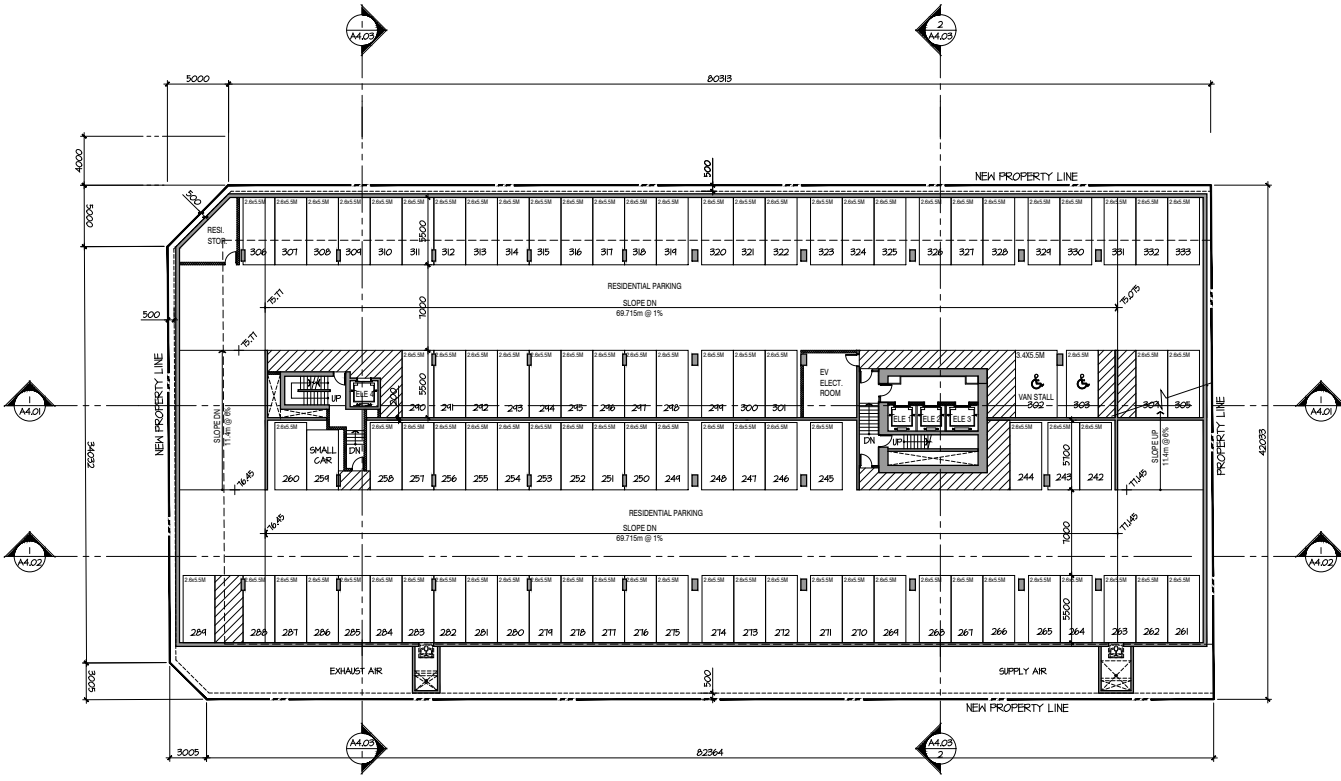
SCALE 1:200
 DATE MAY 19, 2022

A1.05



NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	ISSUED FOR RZ/DP
3	2022-04-05	ISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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P6 PARKING STALLS:		
COMMERCIAL/VISITOR: 0	TOTAL: 73	
RESIDENTIAL: 92	TOTAL: 333	
BICYCLE LOCKERS:		
RESIDENTS: P6	0	
TOTAL:	410	



PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE
 SURREY, BC

LEVEL P6

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider deems that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to this instrument.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be informed of any variations from the dimensions and locations shown on the drawings. Only drawings shall be referred to by dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN LM/GL **CHECKED** CS

SCALE 1:200
DATE MAY 19, 2022

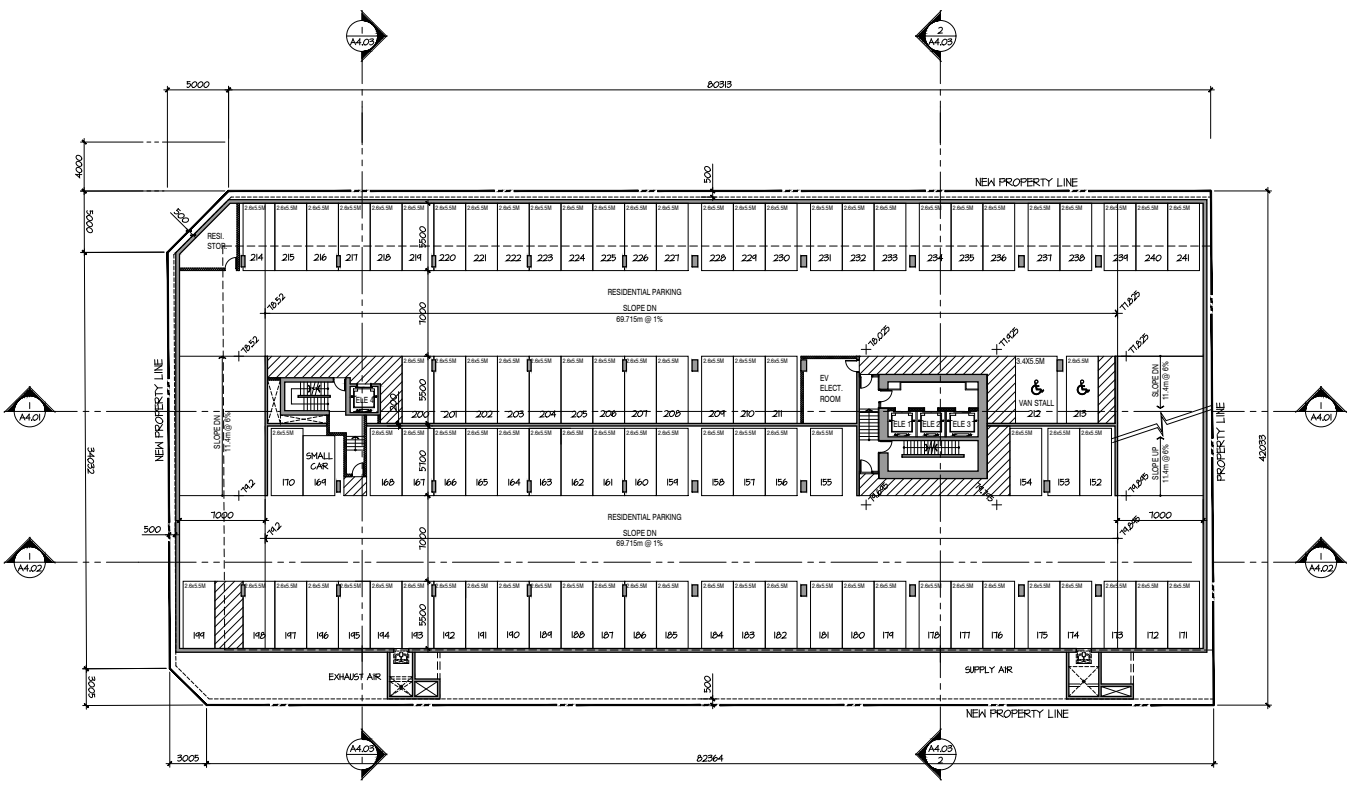
A2.01A



CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------



P5 PARKING STALLS:		
COMMERCIAL/VISITOR: 0	TOTAL: 73	
RESIDENTIAL: 90	TOTAL: 333	
BICYCLE LOCKERS:		
RESIDENTS: P5	0	
TOTAL:	410	



PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE
 SURREY, BC

LEVEL P5

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider details that any reproduction carries their name. All designs and other information shown on this drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof. Other drawings shall be submitted to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN LM/GL **CHECKED** CS

SCALE 1:200
DATE MAY 19, 2022

A2.01

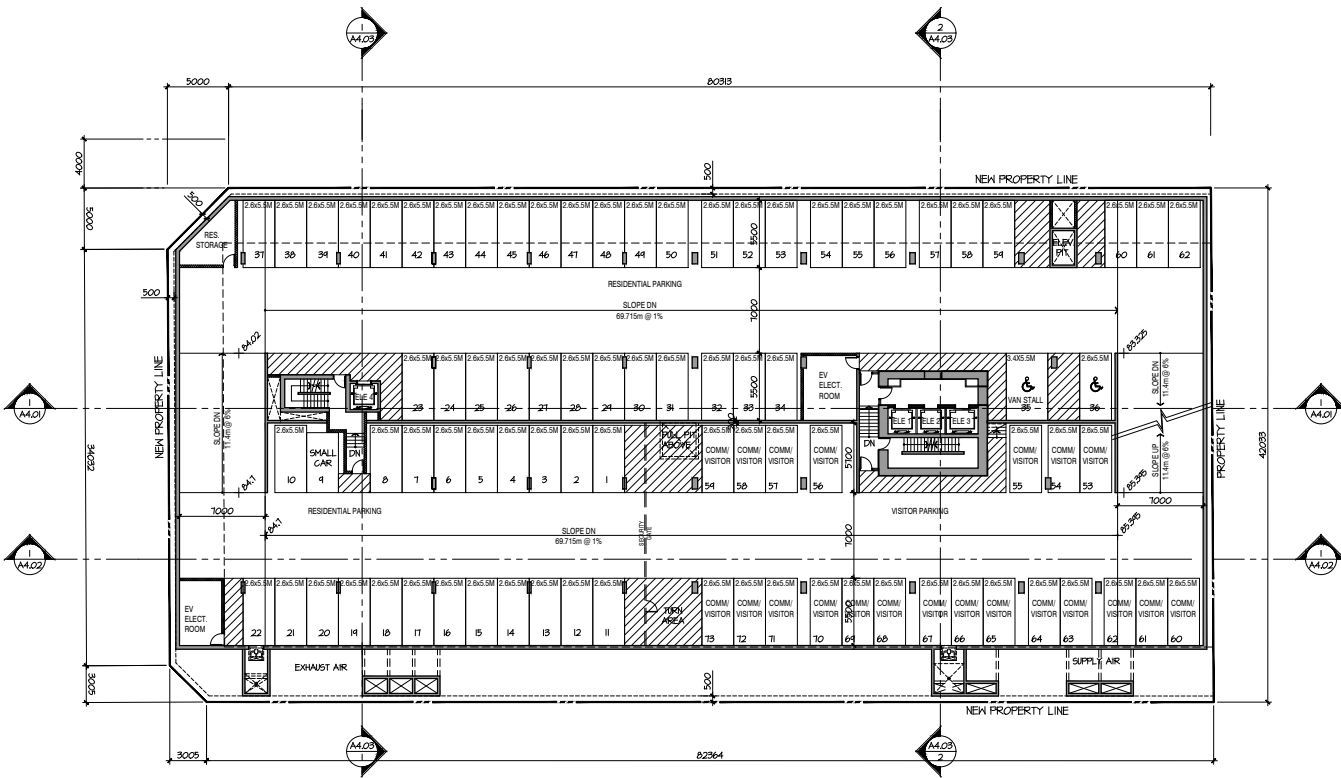


CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

LEVEL P3

P3 PARKING STALLS:		
COMMERCIAL/VISITOR: 21	TOTAL: 73	
RESIDENTIAL: 62	TOTAL: 333	
BICYCLE LOCKERS:		
RESIDENTS: P3	0	
TOTAL:	410	

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider design that any reproduction carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use hereof.

Written dimensions shall have precedence over scaled dimensions. All Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be responsible for any variations from the dimensions and locations shown on the drawings. Any drawings shall be returned to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN LM/GL CHECKED CS

SCALE 1:200
DATE MAY 19, 2022



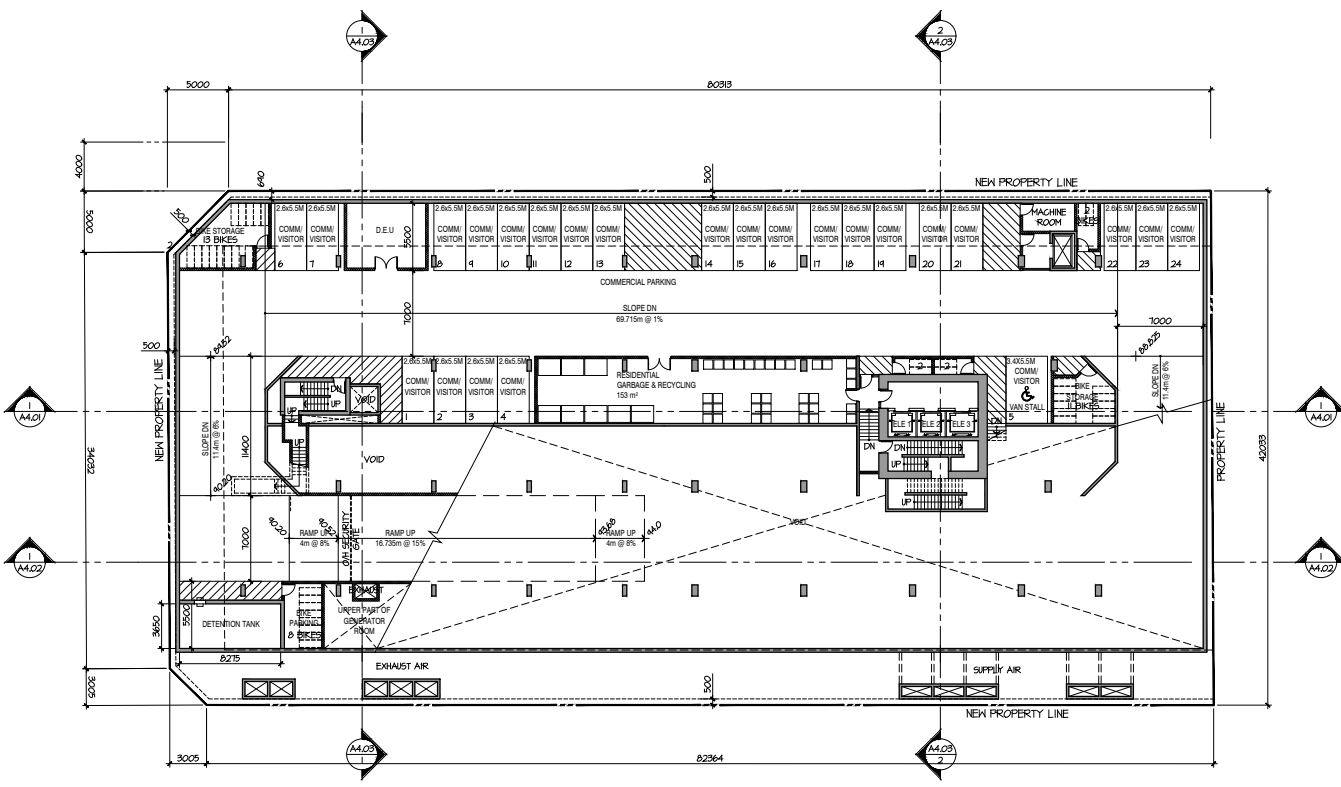
A2.03



CLIENT
STREETSIDE DEVELOPMENTS

- NO. | DATE | ISSUE
 1 | 2021-05-17 | ISSUED FOR RZ/DP
 2 | 2022-02-25 | REISSUED FOR RZ/DP
 3 | 2022-04-05 | REISSUED FOR RZ/DP
 4 | 2022-04-12 | ISSUED FOR ADP
 5 | 2022-05-19 | REISSUED FOR RZ/DP

NO. | DATE | REVISION



PROJECT
**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

LEVEL P1

P1 PARKING STALLS:		
COMMERCIAL/VISITOR: 24	TOTAL: 73	
RESIDENTIAL: 0	TOTAL: 333	
BICYCLE LOCKERS:		
RESIDENTS: P1	38	
TOTAL:	410	

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of \$4 carries over to dys architecture up to the date of issue of this drawing as a condition precedent to the contract.
 Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be responsible for any variations from the information and provisions shown on the drawings. Only drawings shall be referred to dys architecture for review before proceeding with fabrication.

PROJECT A220490
 DRAWN LW/GL CHECKED CS

SCALE 1:200
 DATE MAY 19, 2022



A2.05

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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3	2022-04-05	REISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE
SURREY, BC

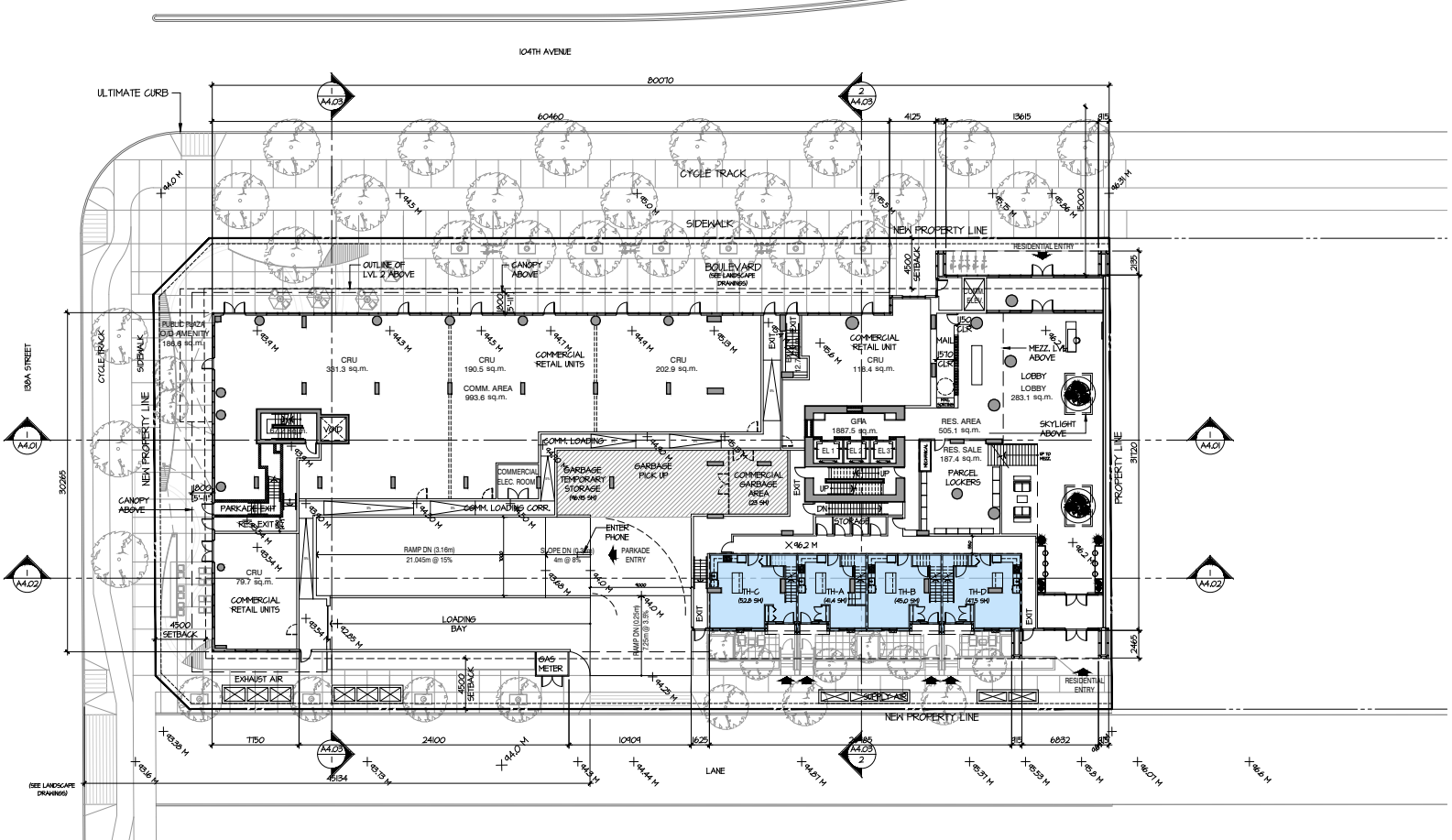
LEVEL 1

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specific project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use of drawings.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall not be responsible for any variations from the dimensions and conditions shown on the drawings. Any drawings shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN L.W.S.S. CHECKED C.S.

SCALE 1:200
DATE MAY 19, 2022



CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

LEVEL 1 (WEST)

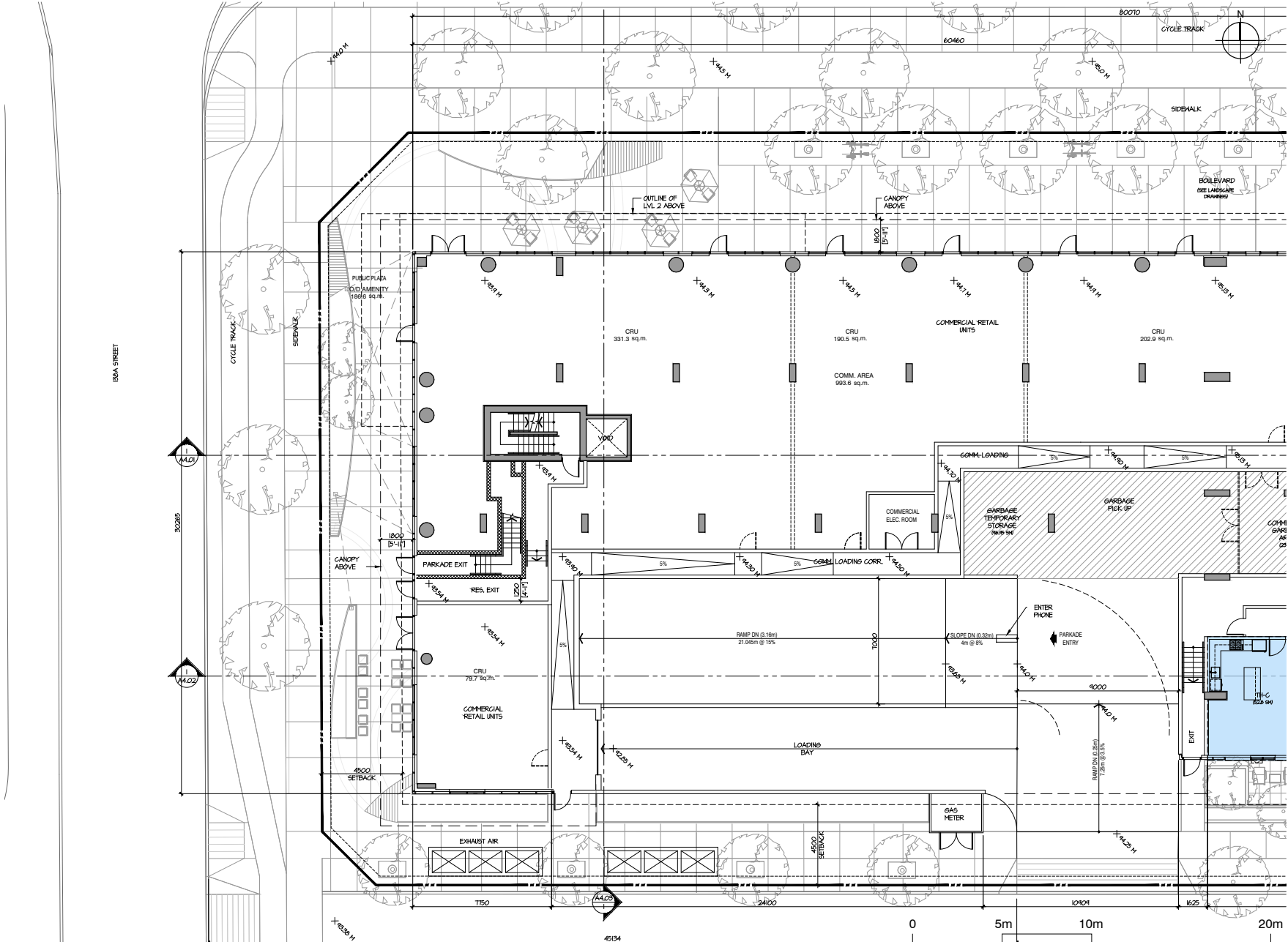
This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to the use hereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be immune of any liability from the operation and construction of the project.

PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

A2-06A



CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

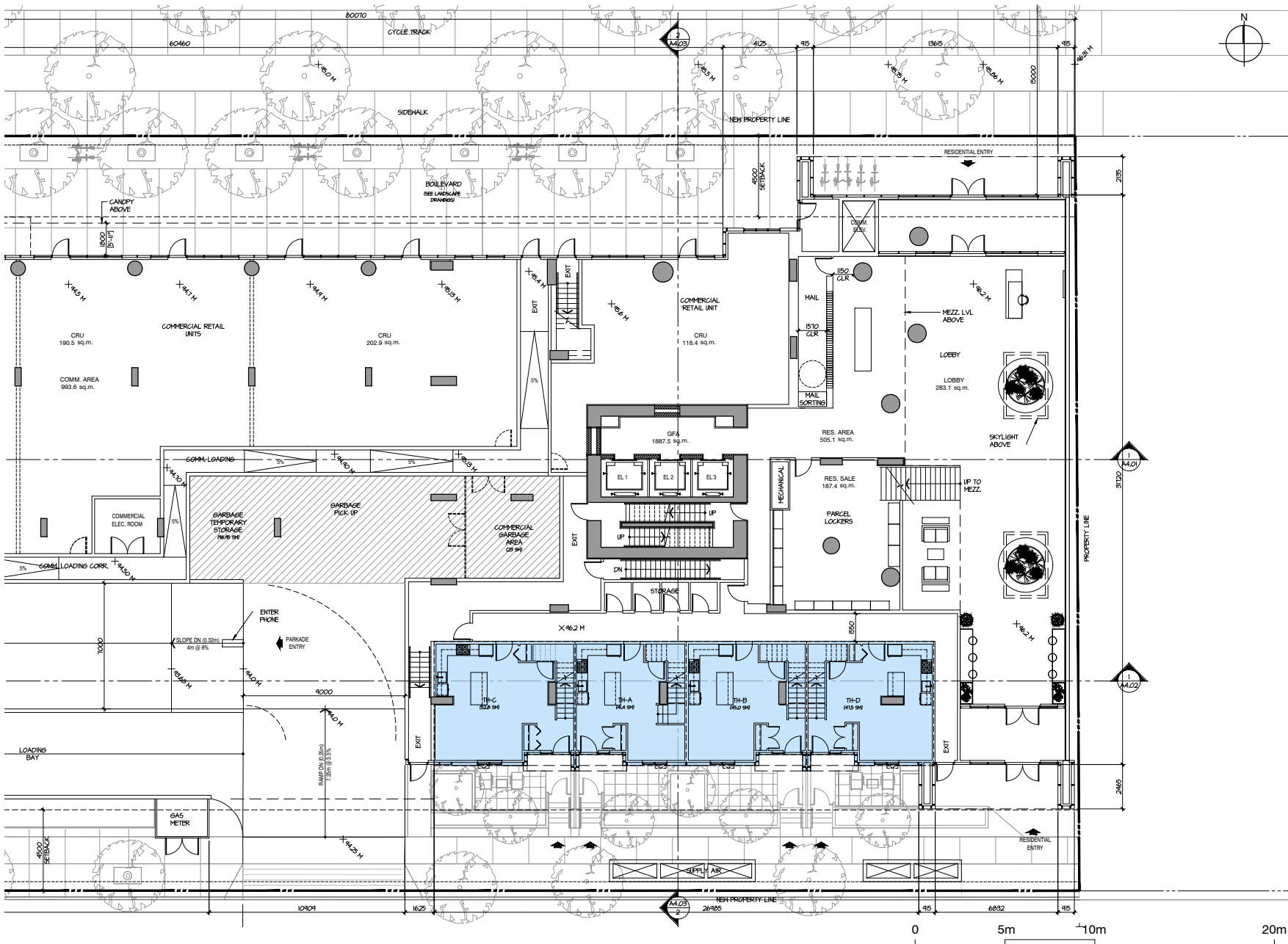
LEVEL 1 (EAST)

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to the use of this drawing.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be exempt of any variations from the dimensions and conditions shown on the drawings. Only drawings shall constitute the dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN L.W.S.S. CHECKED C.S.
SCALE 1:100
DATE MAY 19, 2022

A2-06B



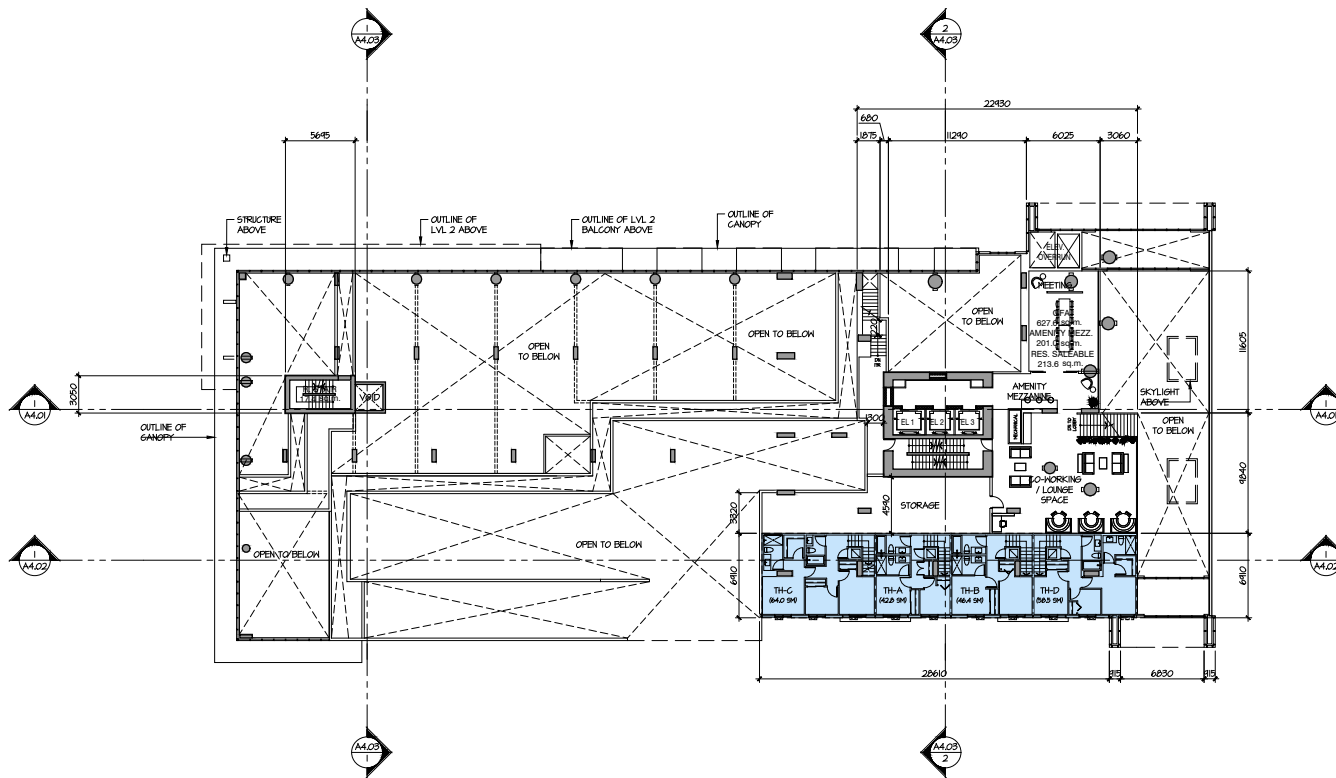


CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

[Green Box]	STUDIO
[Pink Box]	1 BEDROOM
[Blue Box]	2 BEDROOM
[Orange Box]	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

MEZZANINE

This drawing, as an instrument of service, is the property of **dys architecture** and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the project as proposed only and shall not be used otherwise without written permission of **dys architecture**. Payment of all sums due to **dys architecture** up to the date of issue of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and **dys architecture** shall be responsible for any variations from the dimensions and locations shown on the drawings. Any drawings shall be returned to **dys architecture** for review before proceeding with fabrication.

PROJECT A220490
DRAWN LM/SS **CHECKED** CS

SCALE 1:200
DATE MAY 19, 2022



A2.07

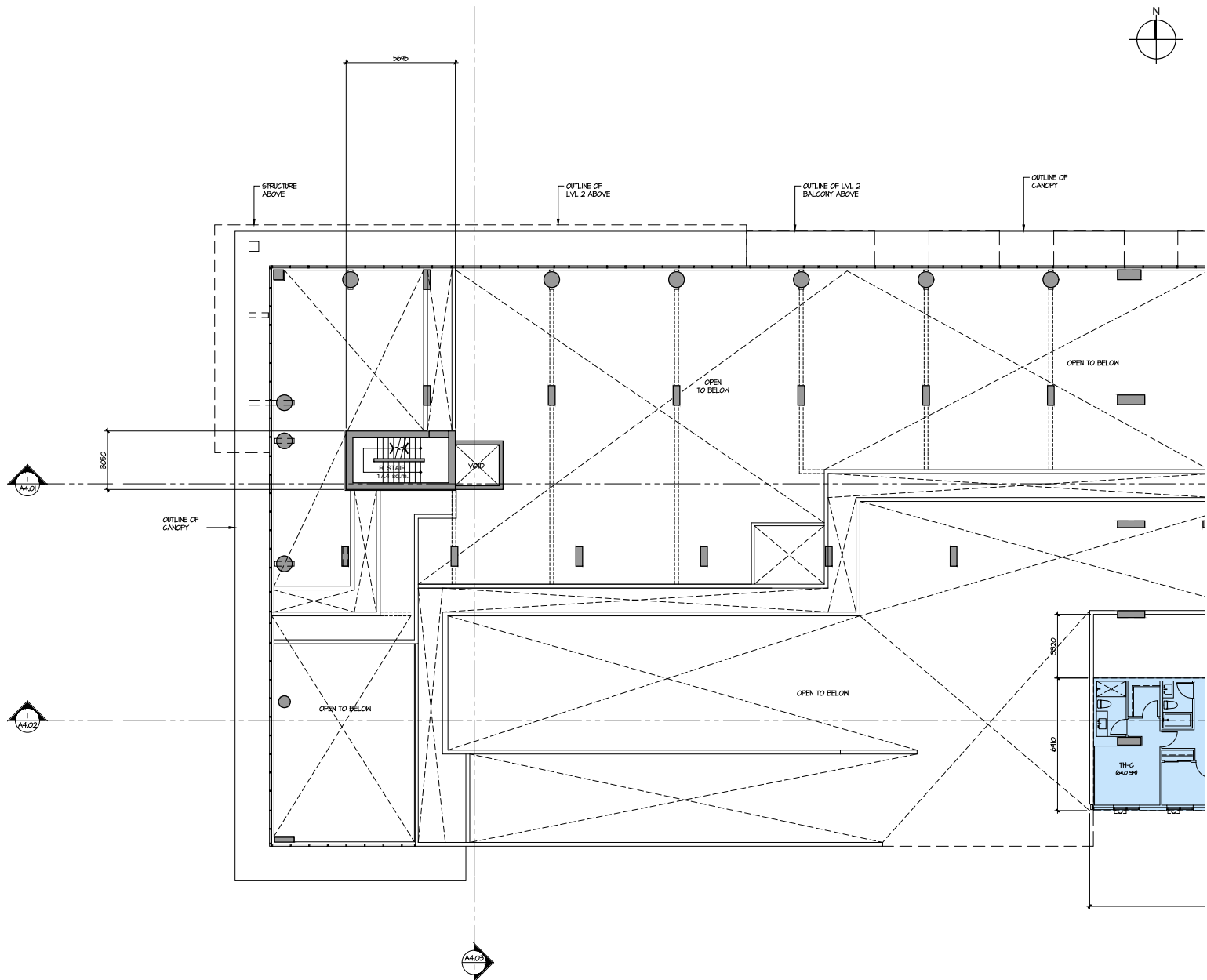


CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE
SURREY, BC

MEZZANINE

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and approval. Design that any professional carries their name, all designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be exempt of any or all liability for the construction and professional services shown on this drawing. Only drawings shall be referred to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN LM/SS **CHECKED** CS

SCALE 1:100
DATE MAY 19, 2022

A2.07A



CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

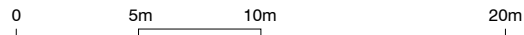
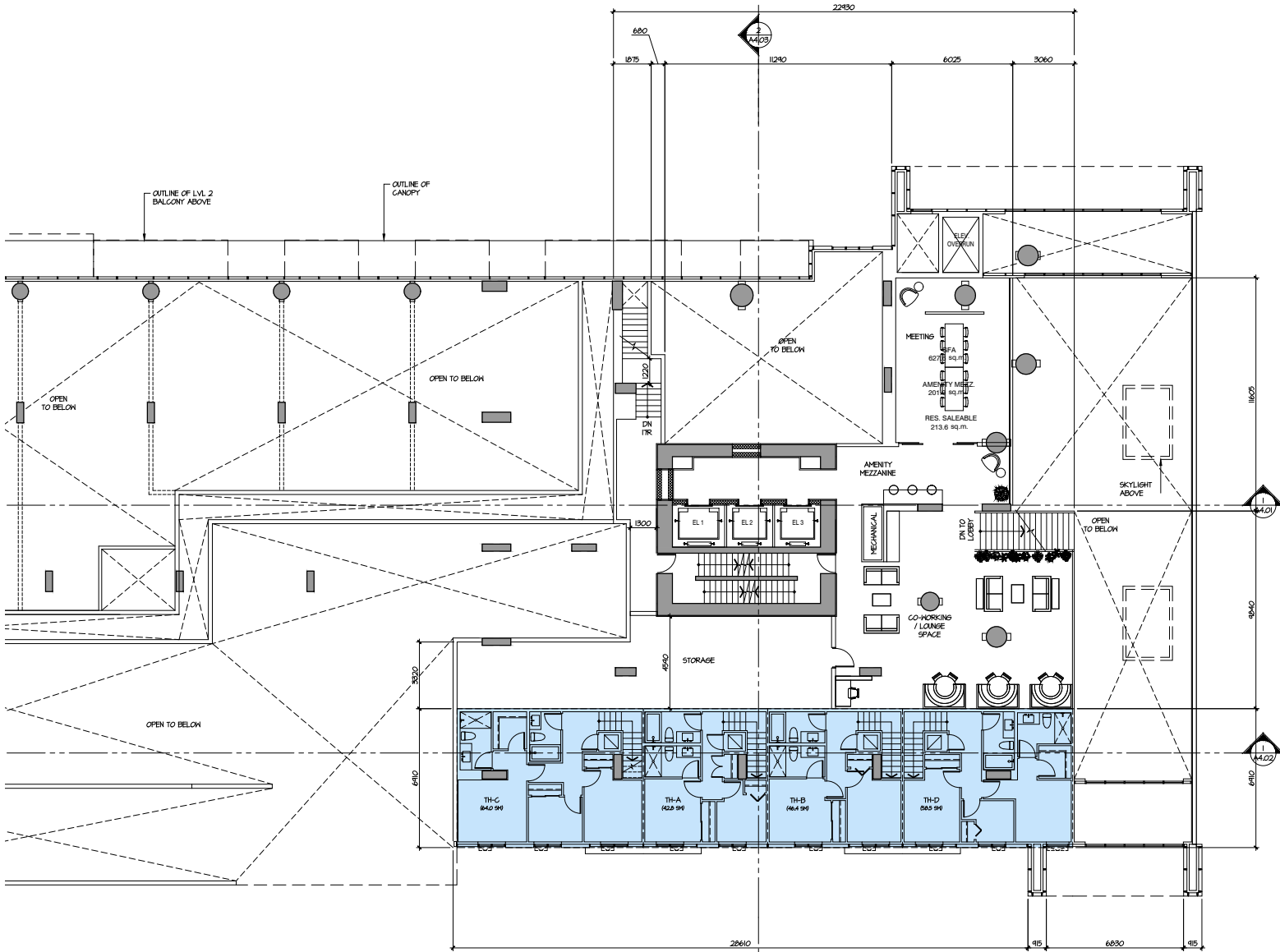
MEZZANINE (WEST)

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall not be responsible for any variations from the information and conditions shown on the drawings. Other drawings shall take precedence over this drawing for reference and coordination with dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN L/WSS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

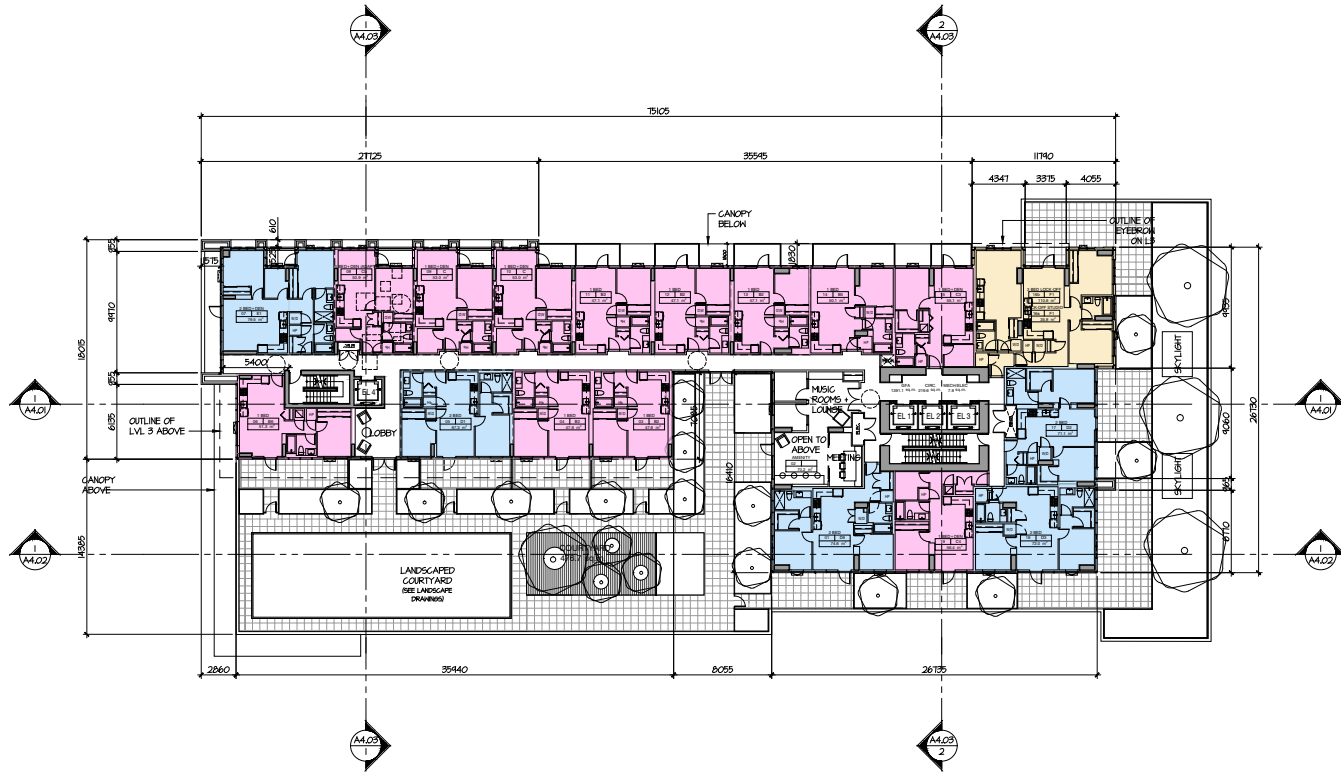




CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE
 SURREY, BC

LEVEL 2

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and in order to do so the producer carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be exempt of any or all liability from the operation and production of drawings. Any drawings shall be returned to dys architecture for review before proceeding with fabrication.

PROJECT A220490
 DRAWN L/WSS CHECKED CS

SCALE 1:200
 DATE MAY 19, 2022



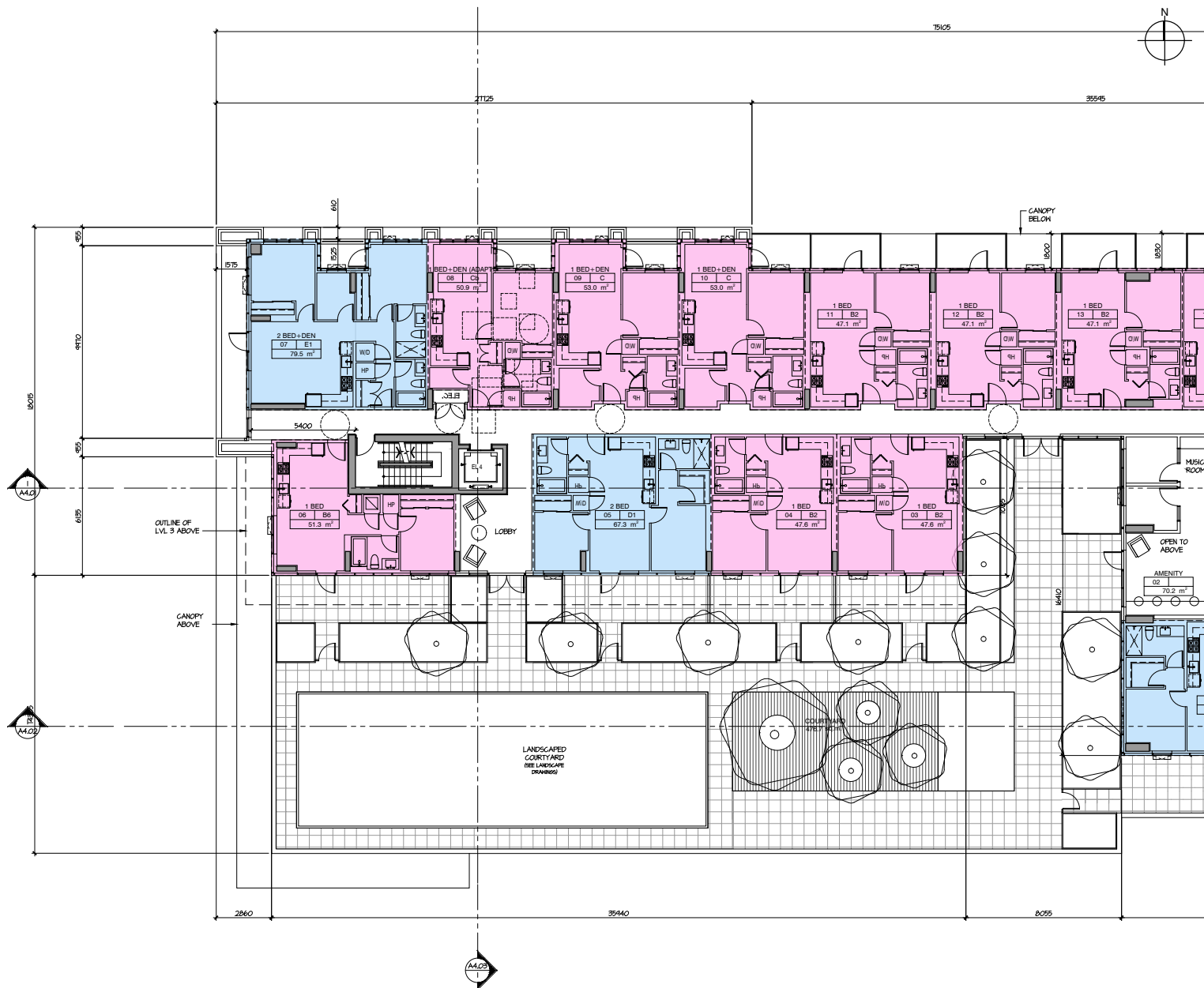
A2.08

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------



LEGEND

[Light Green Box]	STUDIO
[Pink Box]	1 BEDROOM
[Blue Box]	2 BEDROOM
[Light Orange Box]	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

LEVEL 2 (WEST)

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider design that any reproduction carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all fees due to dys architecture up to the date of completion of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be relieved of any or all liability for interpretation and construction of any or all drawings. Only drawings shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN L/MSS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

A2.08A

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
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4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------

LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**

13868 104TH AVENUE
SURREY, BC

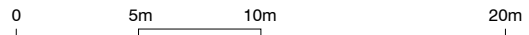
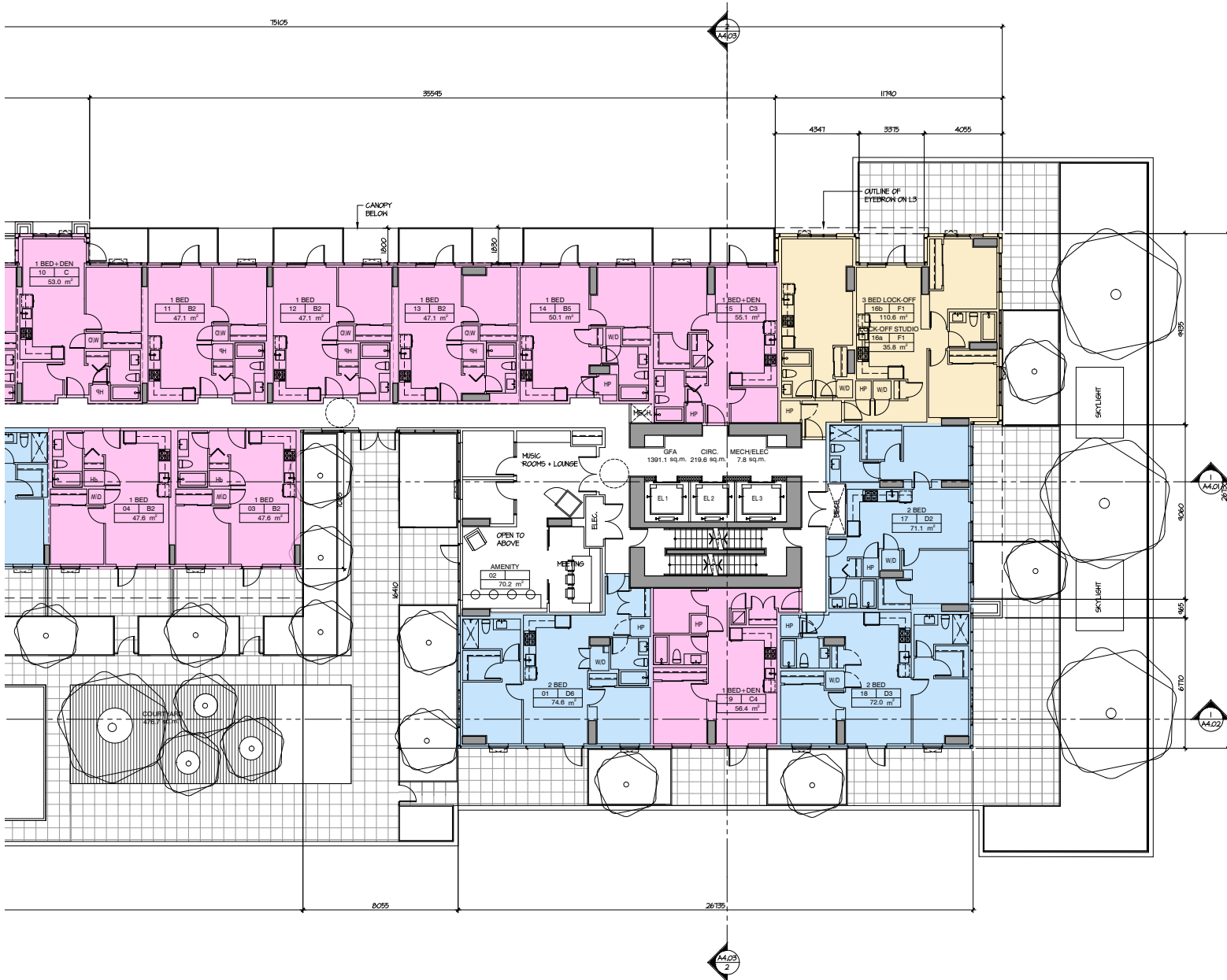
**LEVEL 2
(EAST)**

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to the use hereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be responsible for any variations from the dimensions and locations shown on the drawings. dys architecture shall not be held responsible for any errors or omissions in this drawing.

PROJECT A220490
DRAWN L/WSS CHECKED GS

SCALE 1:100
DATE MAY 19, 2022

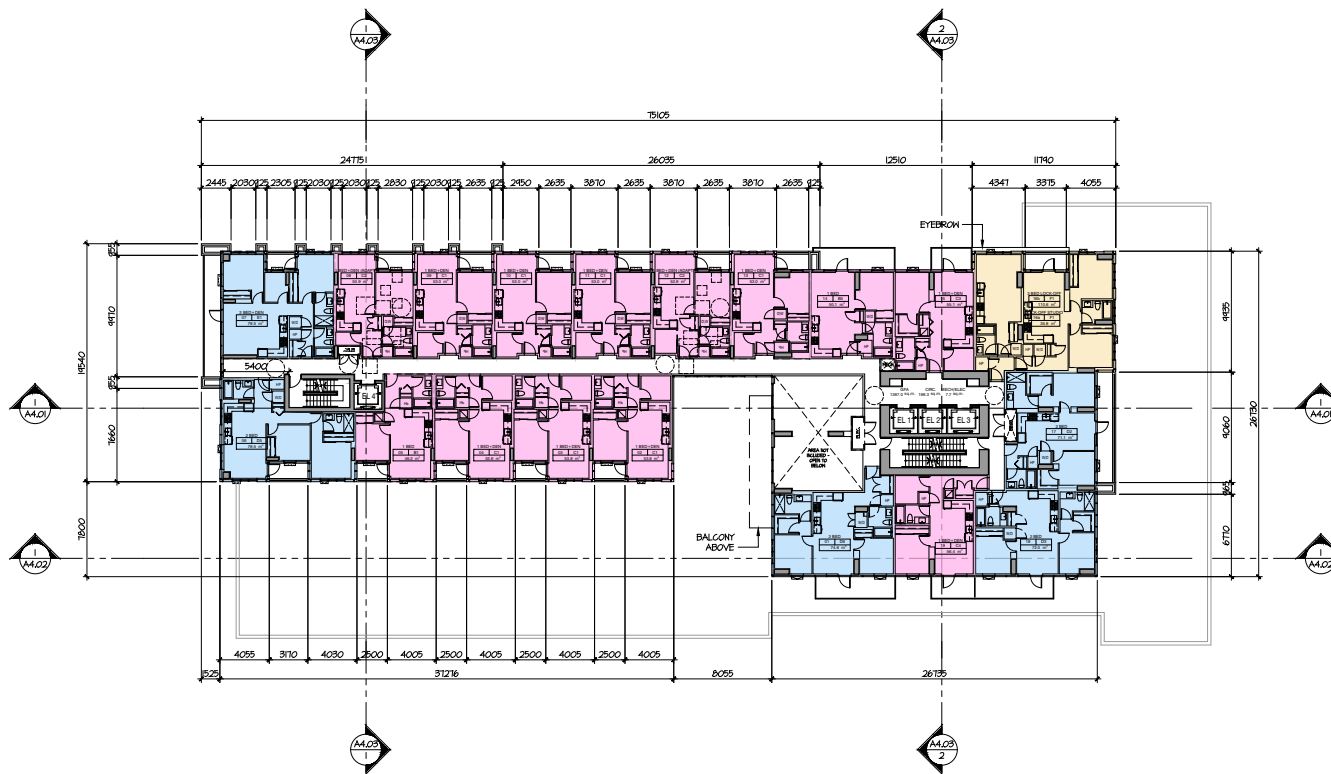




CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND	
	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
 AND COMMERCIAL RETAIL
 DEVELOPMENT**
 13868 104TH AVENUE
 SURREY, BC

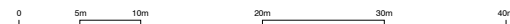
LEVEL 03

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider always that any reproduction carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be exempt of any or all liability from the operation and construction shown on this drawing. Any drawings shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A220490
 DRAWN LWSS CHECKED CS

SCALE 1:200
 DATE MAY 19, 2022



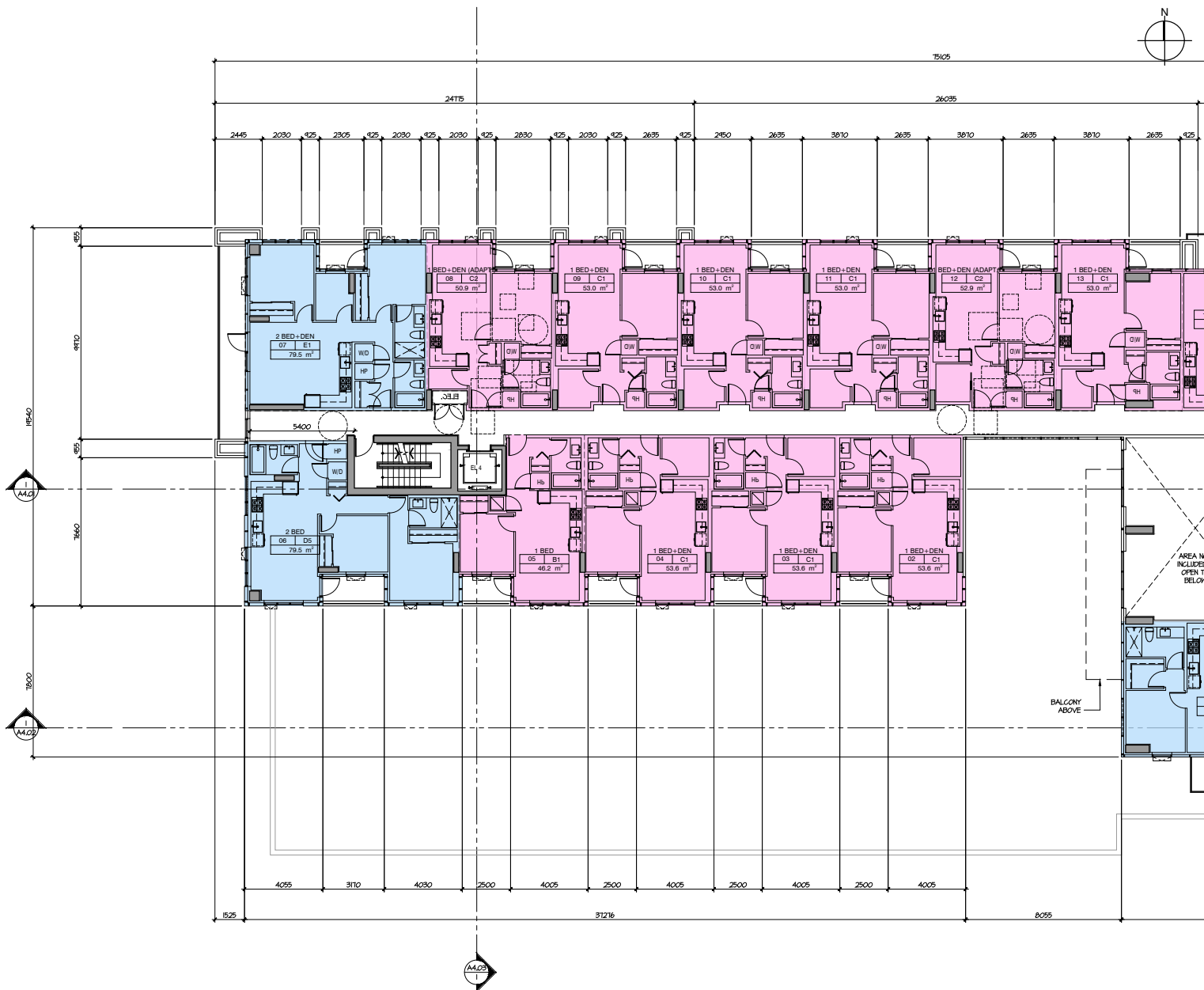
A2.09

CLIENT

STREETSIDE DEVELOPMENTS

- | NO. | DATE | ISSUE |
|-----|------------|--------------------|
| 1 | 2021-05-17 | ISSUED FOR RZ/DP |
| 2 | 2022-02-25 | REISSUED FOR RZ/DP |
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| 4 | 2022-04-12 | ISSUED FOR ADP |
| 5 | 2022-05-19 | REISSUED FOR RZ/DP |

NO. | DATE | REVISION



LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

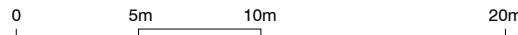
LEVEL 03 (WEST)

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and/or under any conditions. Any reproduction without their written permission carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of this drawing is a condition precedent to the use hereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be exempt of any or errors due to interpretation and production before dys architecture. Any errors shall be corrected by dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN LWSS **CHECKED** CS

SCALE 1:100
DATE MAY 19, 2022



A2.09A

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

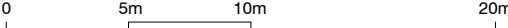
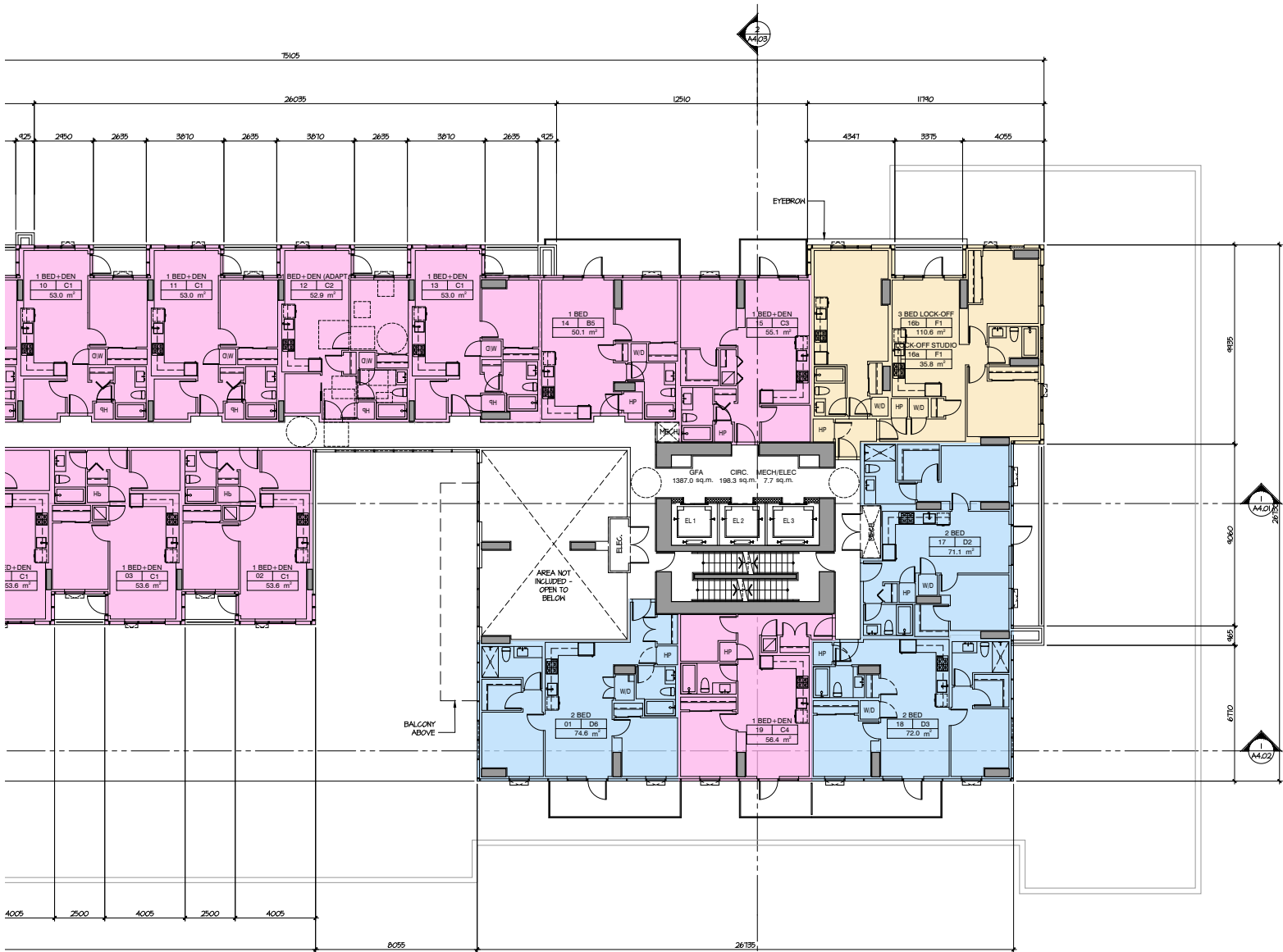
LEVEL 03 (EAST)

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PROJECT A220490
DRAWN L.W.S.S. CHECKED C.S.

SCALE 1:100
DATE MAY 19, 2022

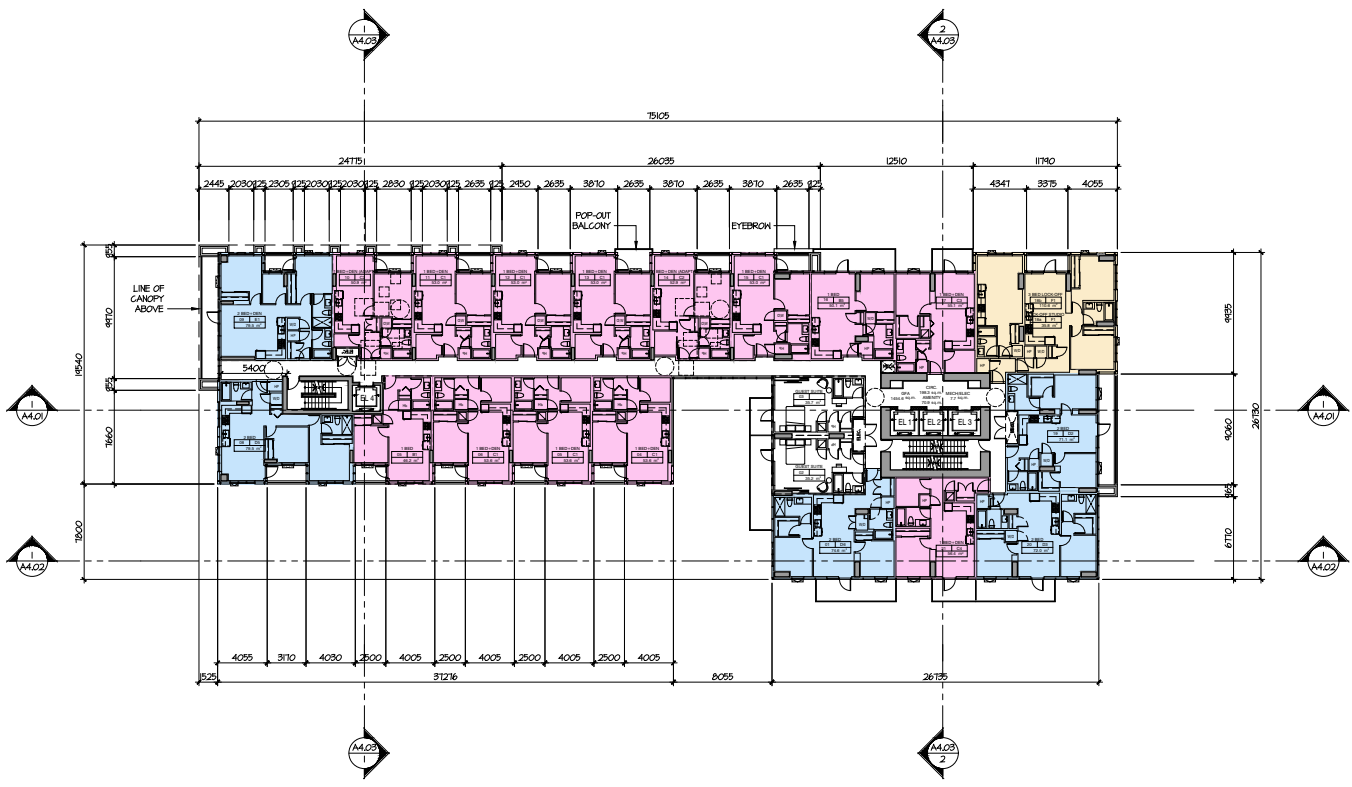




CLIENT
STREETSIDE DEVELOPMENTS

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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE
 SURREY, BC

LEVEL 04

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use of drawings.

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PROJECT A220490
 DRAWN LWSS CHECKED CS

SCALE 1:200
 DATE MAY 19, 2022



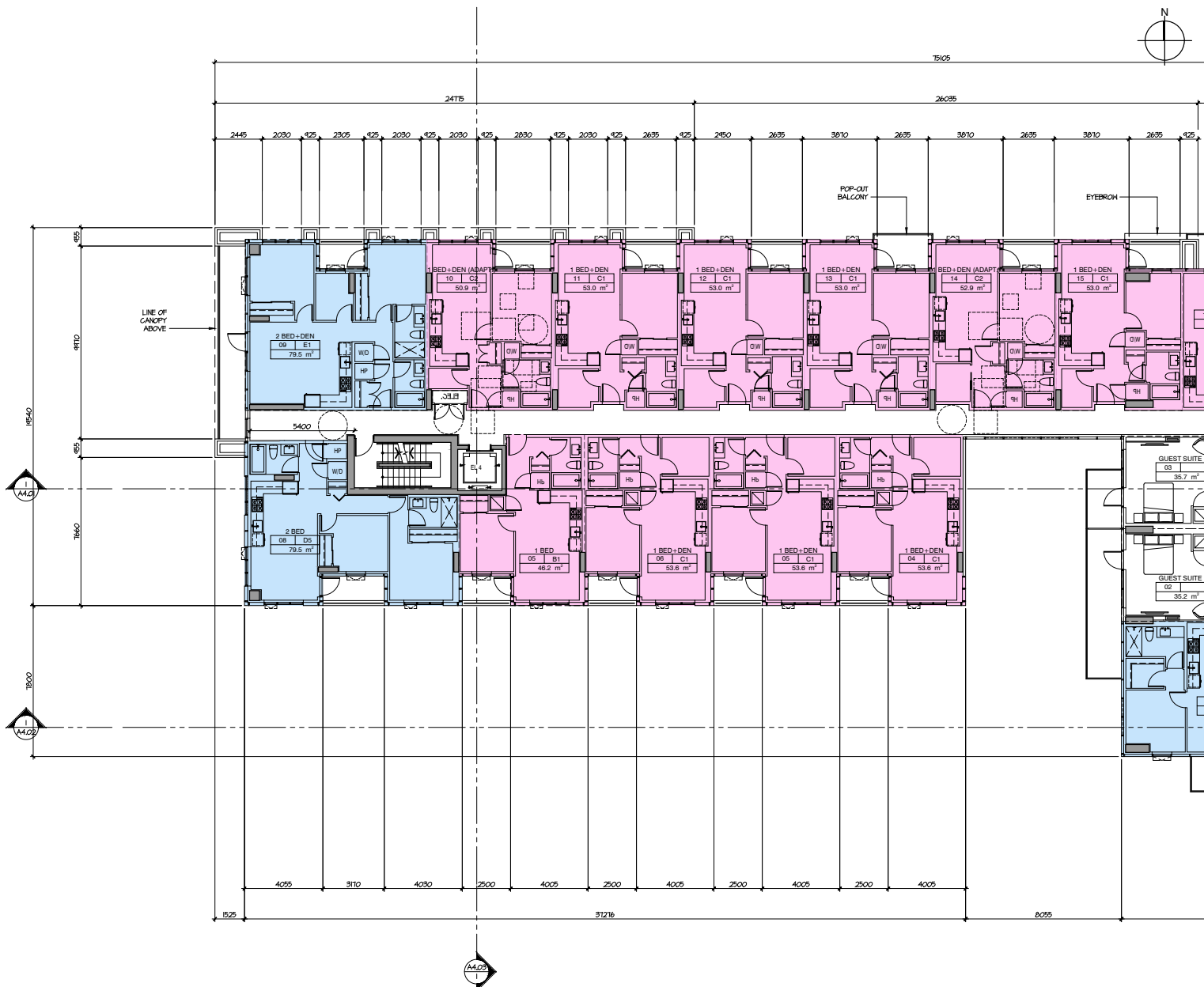
A2.10

CLIENT

STREETSIDE DEVELOPMENTS

- | NO. | DATE | ISSUE |
|-----|------------|--------------------|
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| 2 | 2022-02-25 | REISSUED FOR RZ/DP |
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| 5 | 2022-05-19 | REISSUED FOR RZ/DP |

NO. | DATE | REVISION



LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

LEVEL 04 (WEST)

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider details that any reproduction carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of completion of drawings is a condition precedent to the use of them.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be exempt of any or errors due to interpretation and production before the drawings. Any errors shall be referred to dys architecture for review before proceeding with construction.

PROJECT A220490

DRAWN LWSS CHECKED CS

SCALE 1:100

DATE MAY 19, 2022

A2.10A

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION

LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

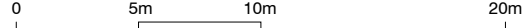
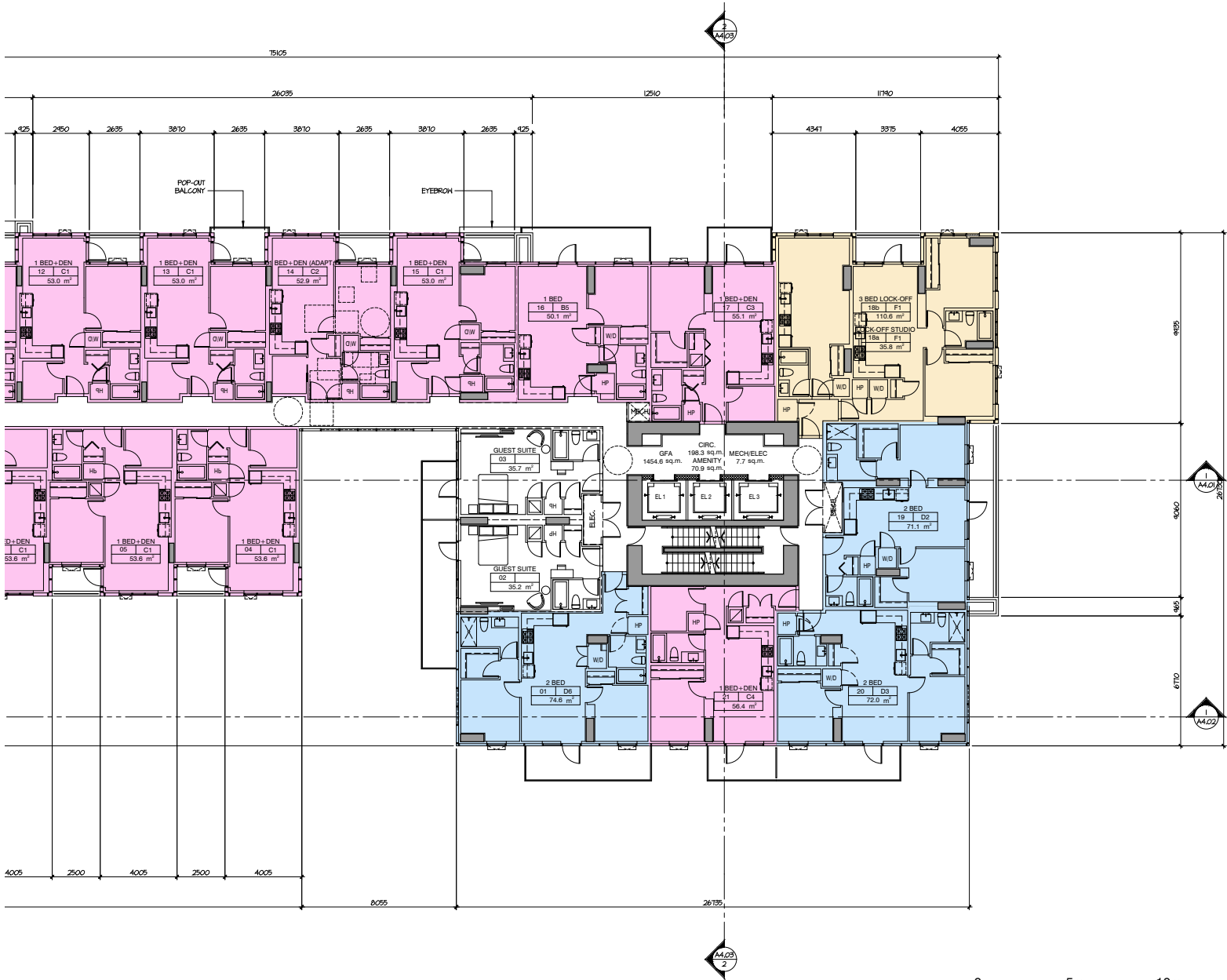
LEVEL 04 (EAST)

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be responsible for any variations from the dimensions and positions shown on this drawing. Any drawings or other information for dys architecture for review before proceeding with the work.

PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022



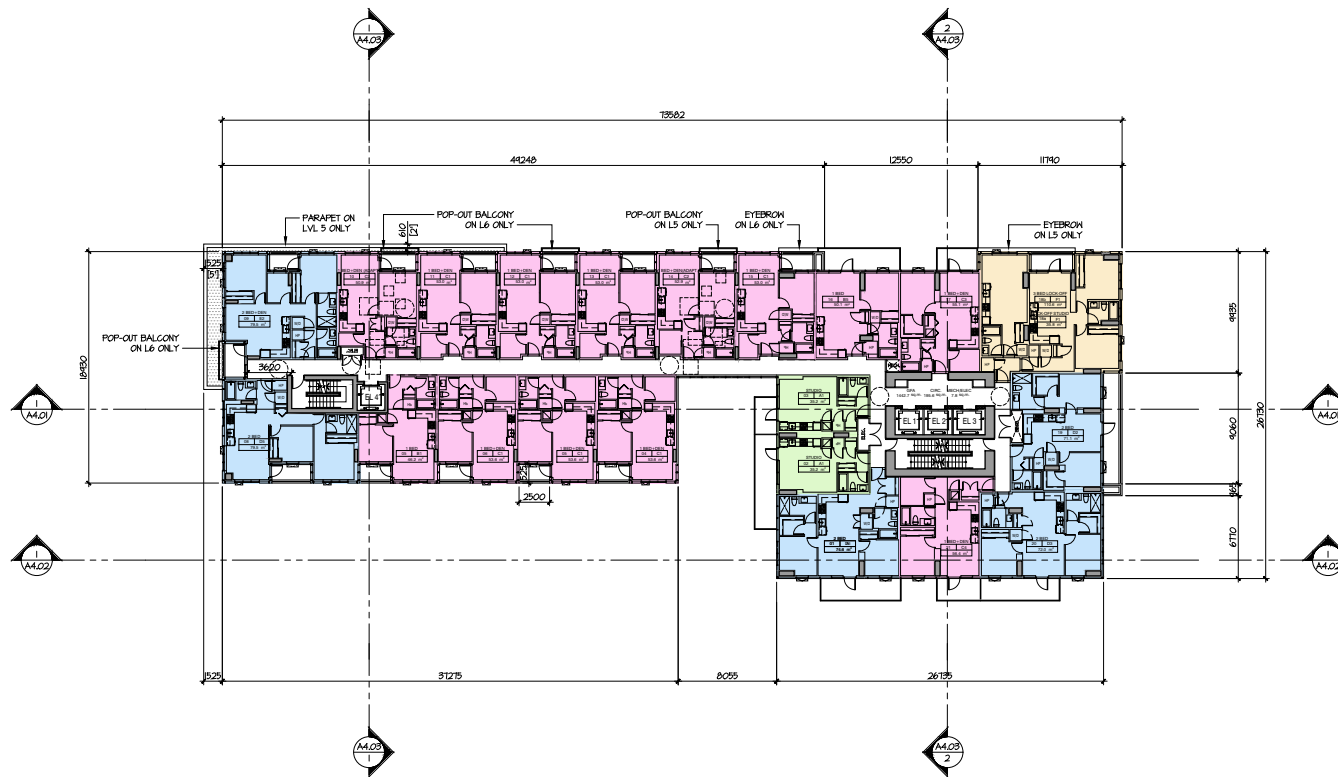


CLIENT

STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION
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LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

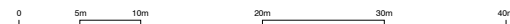
LEVEL 05 TO 06

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PROJECT A220490
DRAWN L/M/SS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022

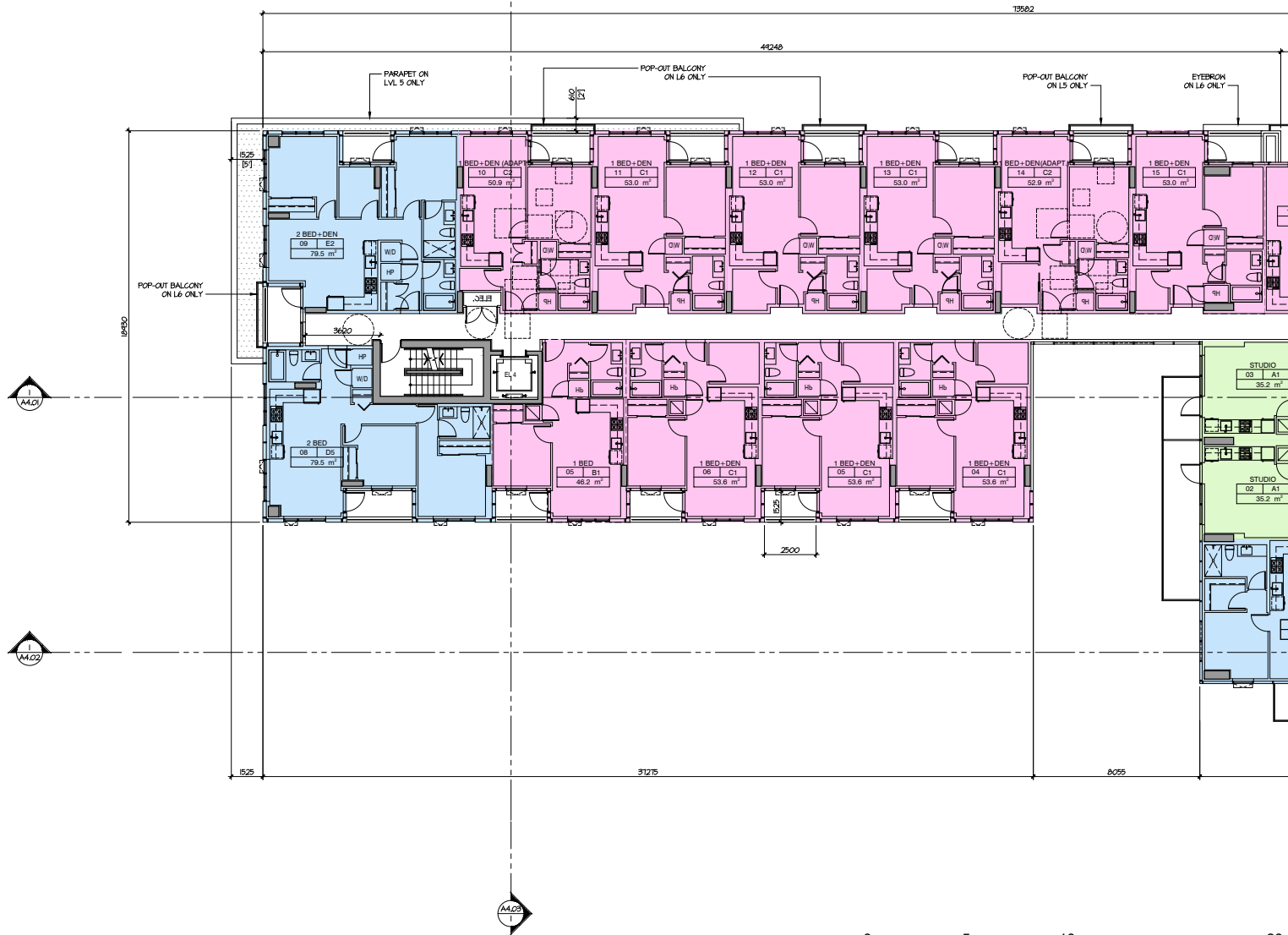


CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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NO.	DATE	REVISION
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LEGEND

STUDIO
1 BEDROOM
2 BEDROOM
3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

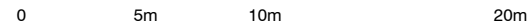
LEVEL 05 TO 06 (WEST)

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PROJECT A220490
DRAWN L/WSS CHECKED GS

SCALE 1:100
DATE MAY 19, 2022



A2.11A

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
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5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND	
	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

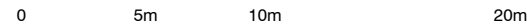
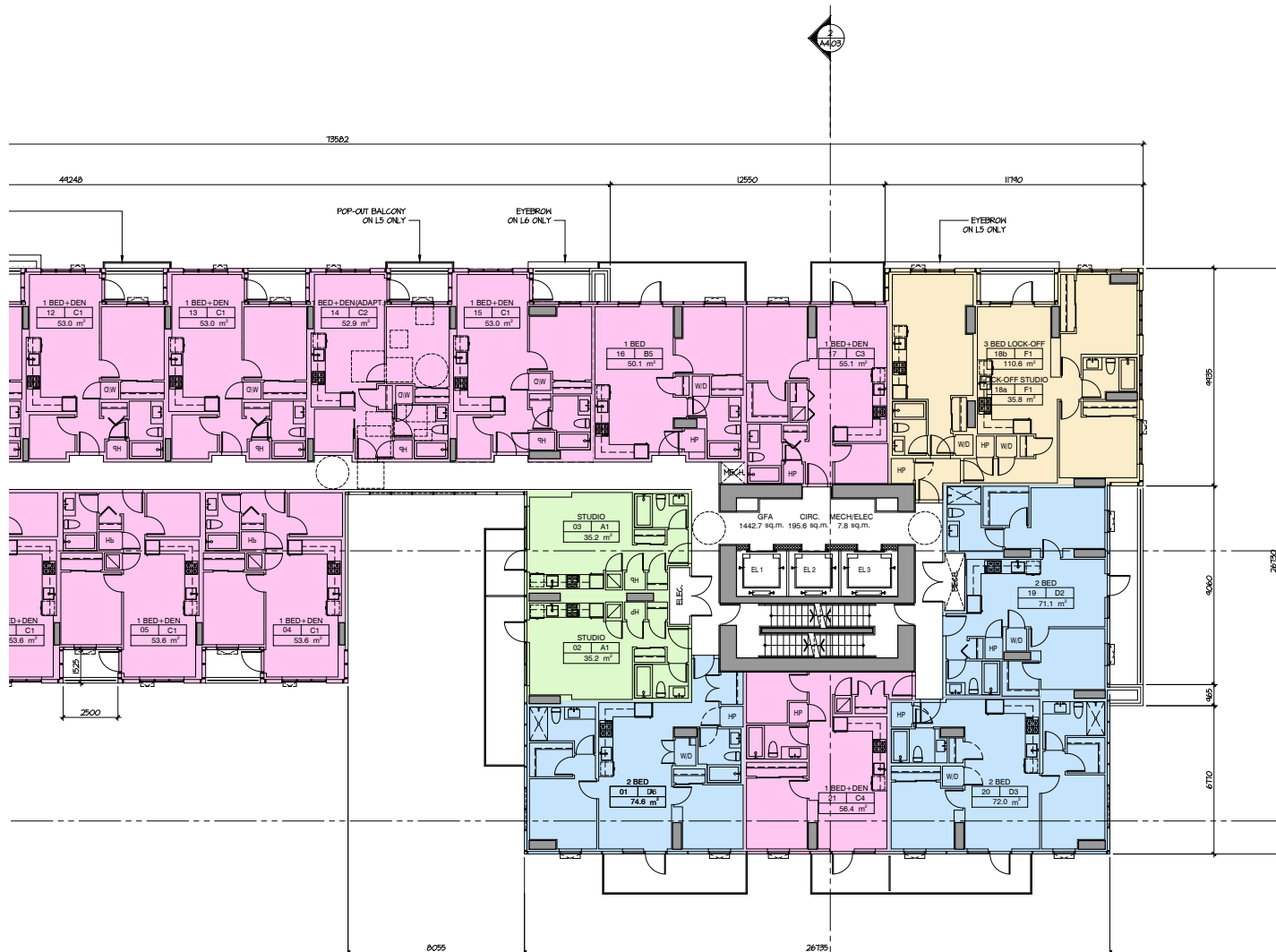
LEVEL 05 TO 06 (EAST)

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PROJECT A220490
DRAWN LM/SS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022





CLIENT

STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION

LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

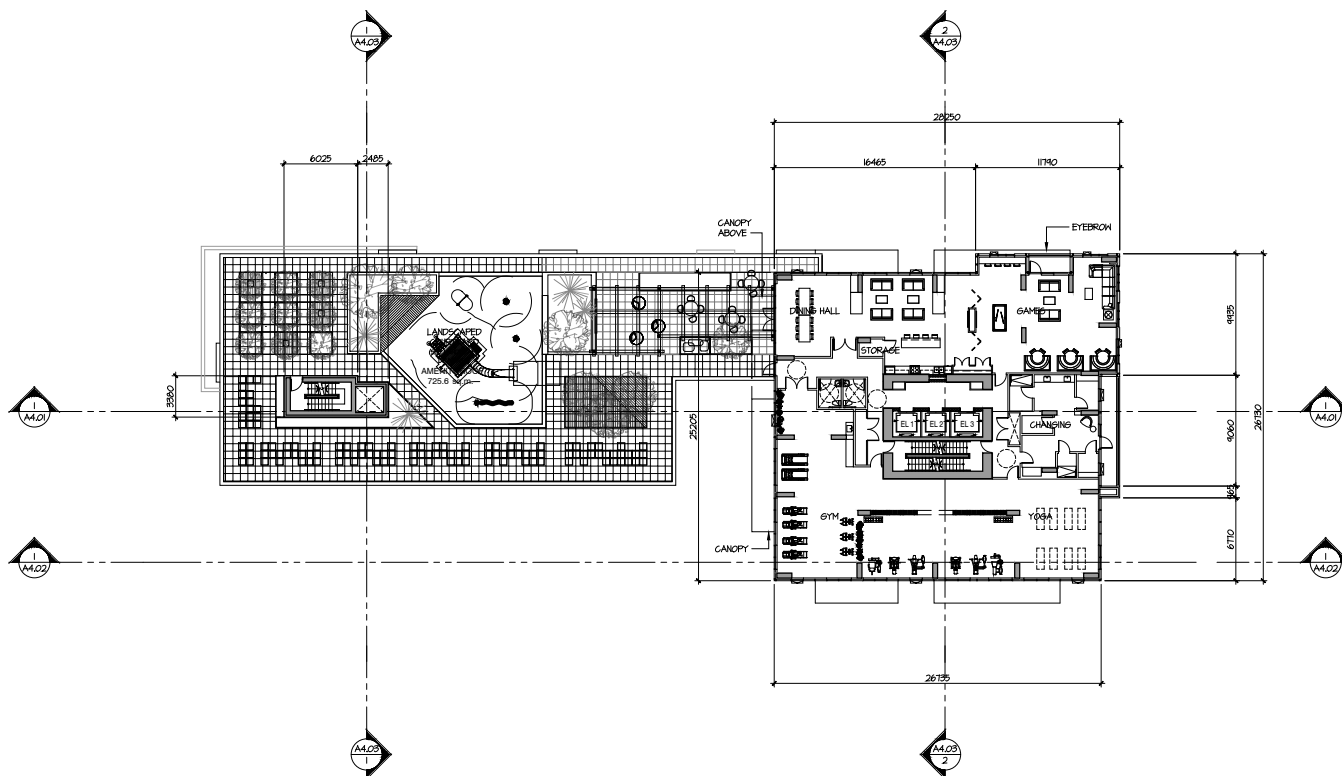
LEVEL 7 AND ROOF PLAN

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and proper acknowledgement. Any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of issue of this drawing is a condition precedent to the use thereof.

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PROJECT A220490
DRAWN LM/SS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022

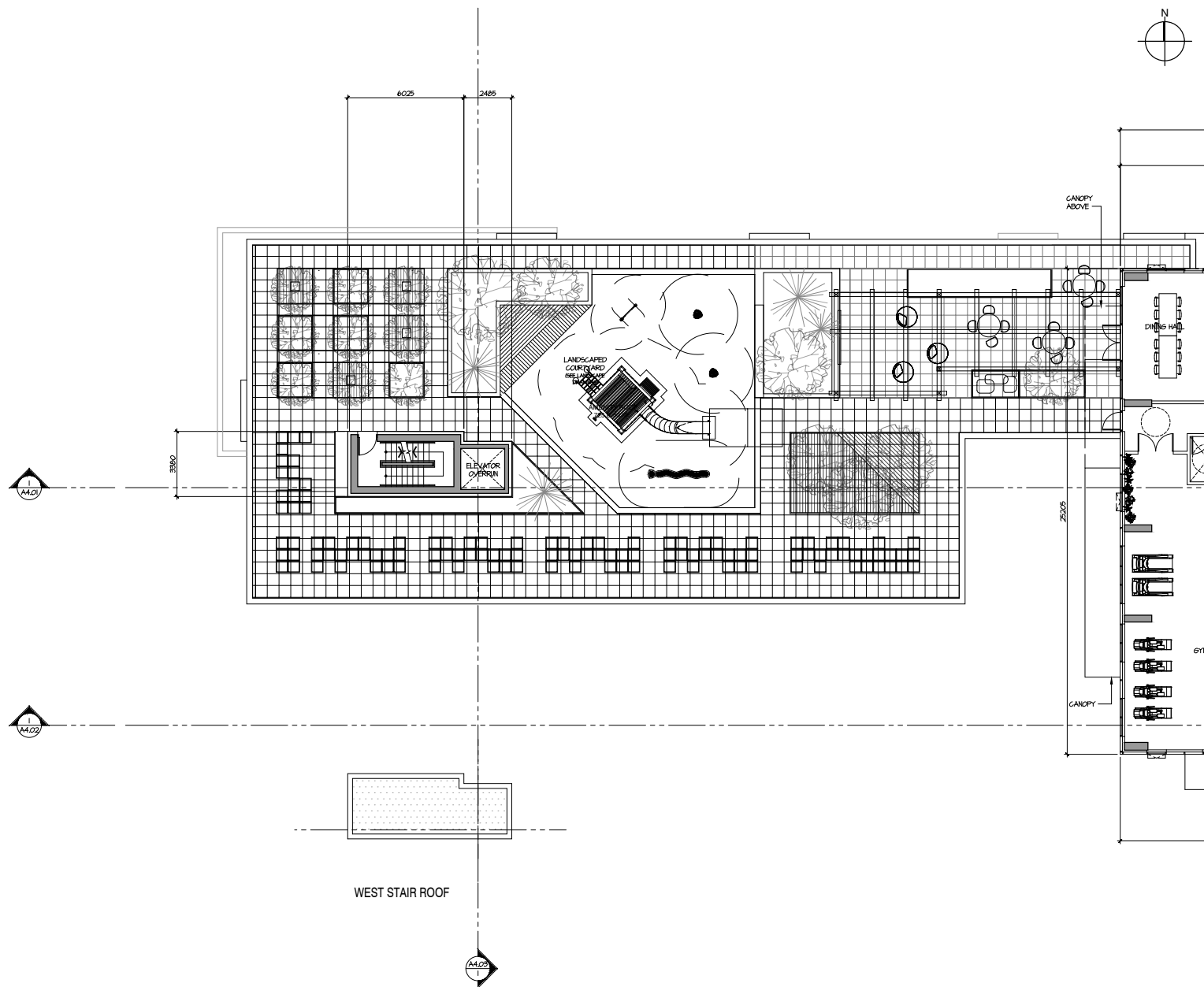


CLIENT

STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

**LEVEL 7 AND
ROOF PLAN
(WEST)**

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PROJECT A220490
DRAWN LM/SS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

A2.12A

CLIENT

STREETSIDE DEVELOPMENTS

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NO. | DATE | REVISION

LEGEND

	STUDIO
	1 BEDROOM
	2 BEDROOM
	3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

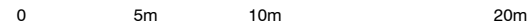
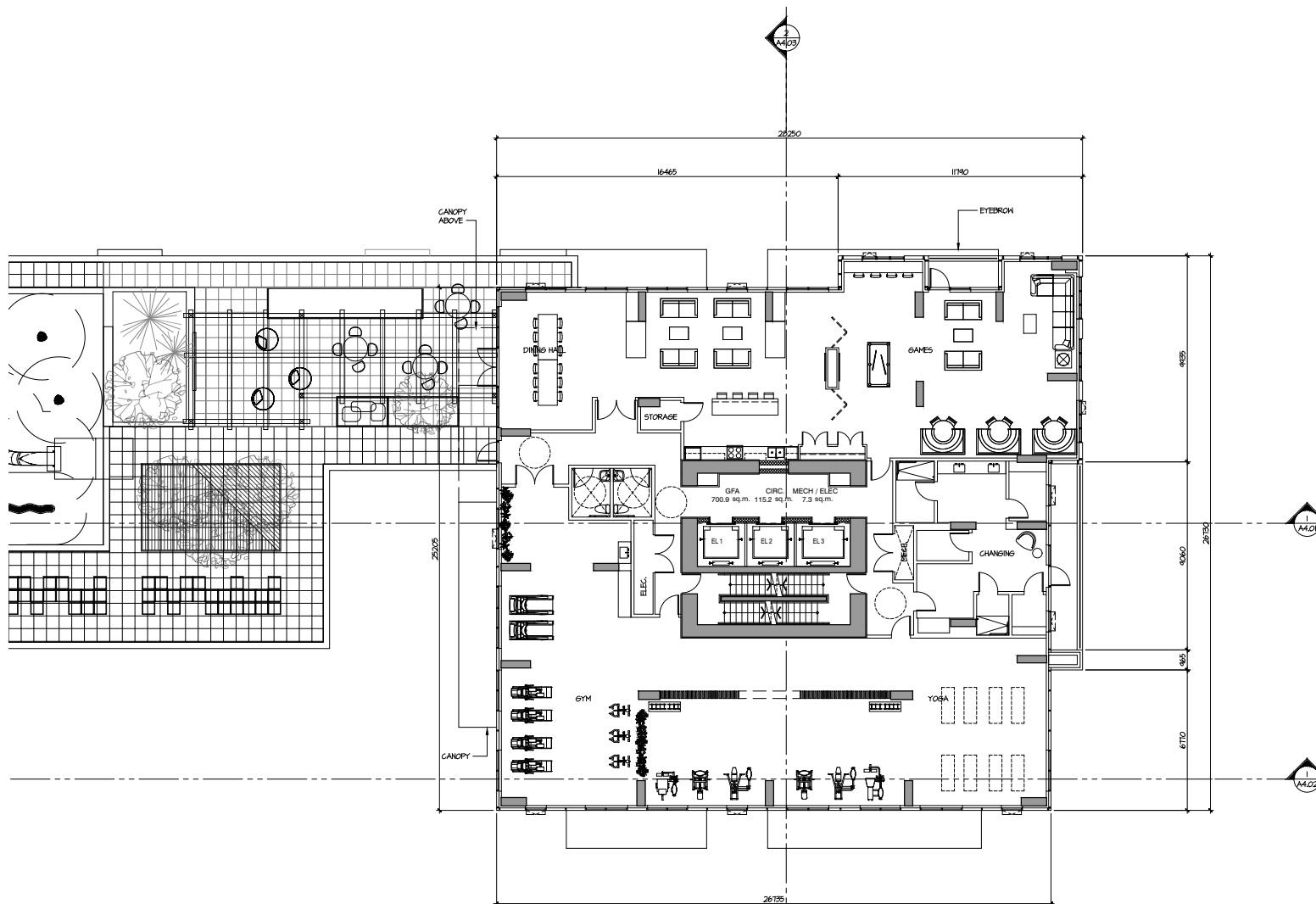
**LEVEL 7 AND
ROOF PLAN
(EAST)**

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PROJECT A220490
DRAWN L.M.S.S. CHECKED G.S.

SCALE 1:100
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CLIENT

STREETSIDE DEVELOPMENTS

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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

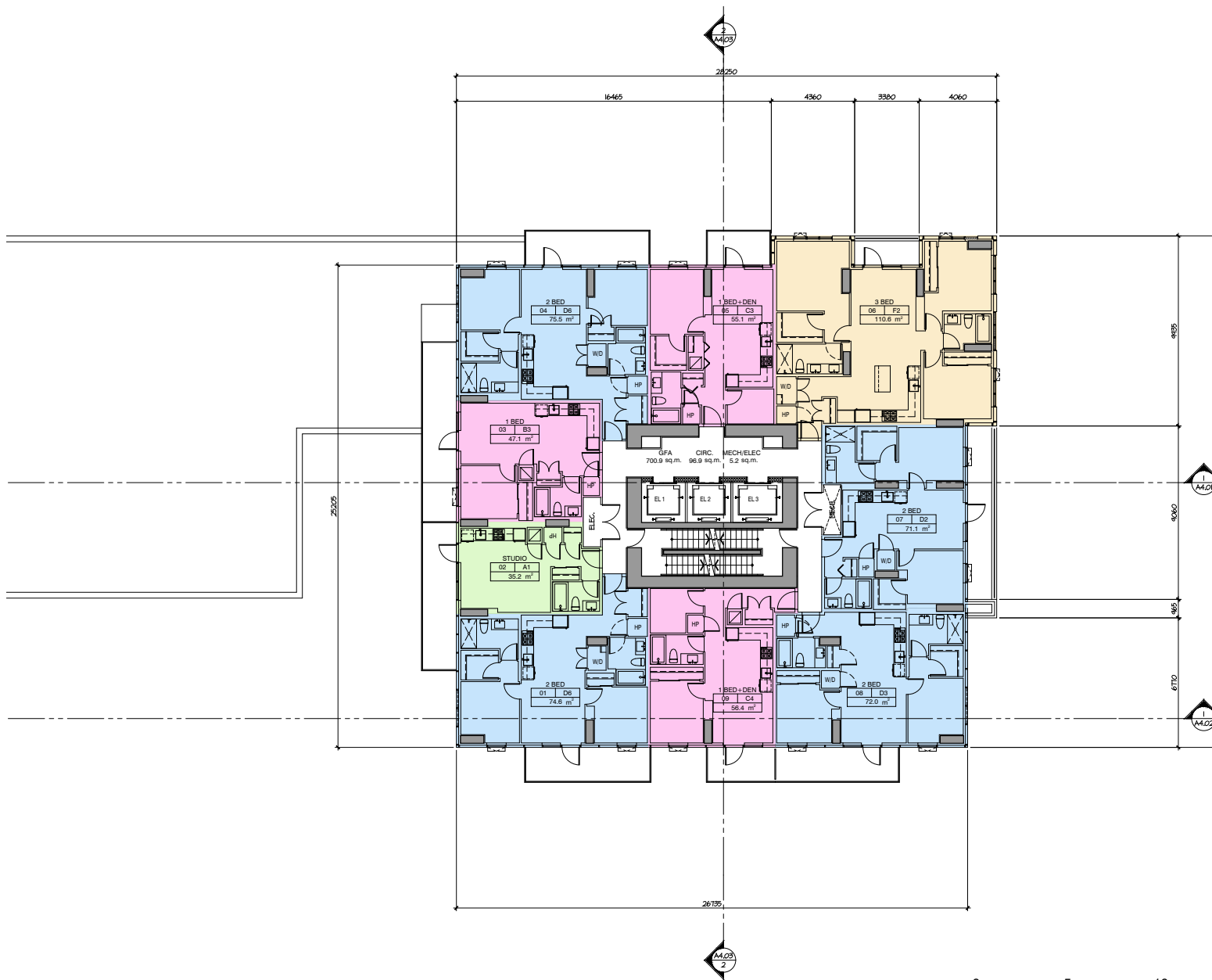
LEVEL 08

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PROJECT A220490
DRAWN LM/SS CHECKED CS

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CLIENT

STREETSIDE DEVELOPMENTS

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NO. | DATE | REVISION

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

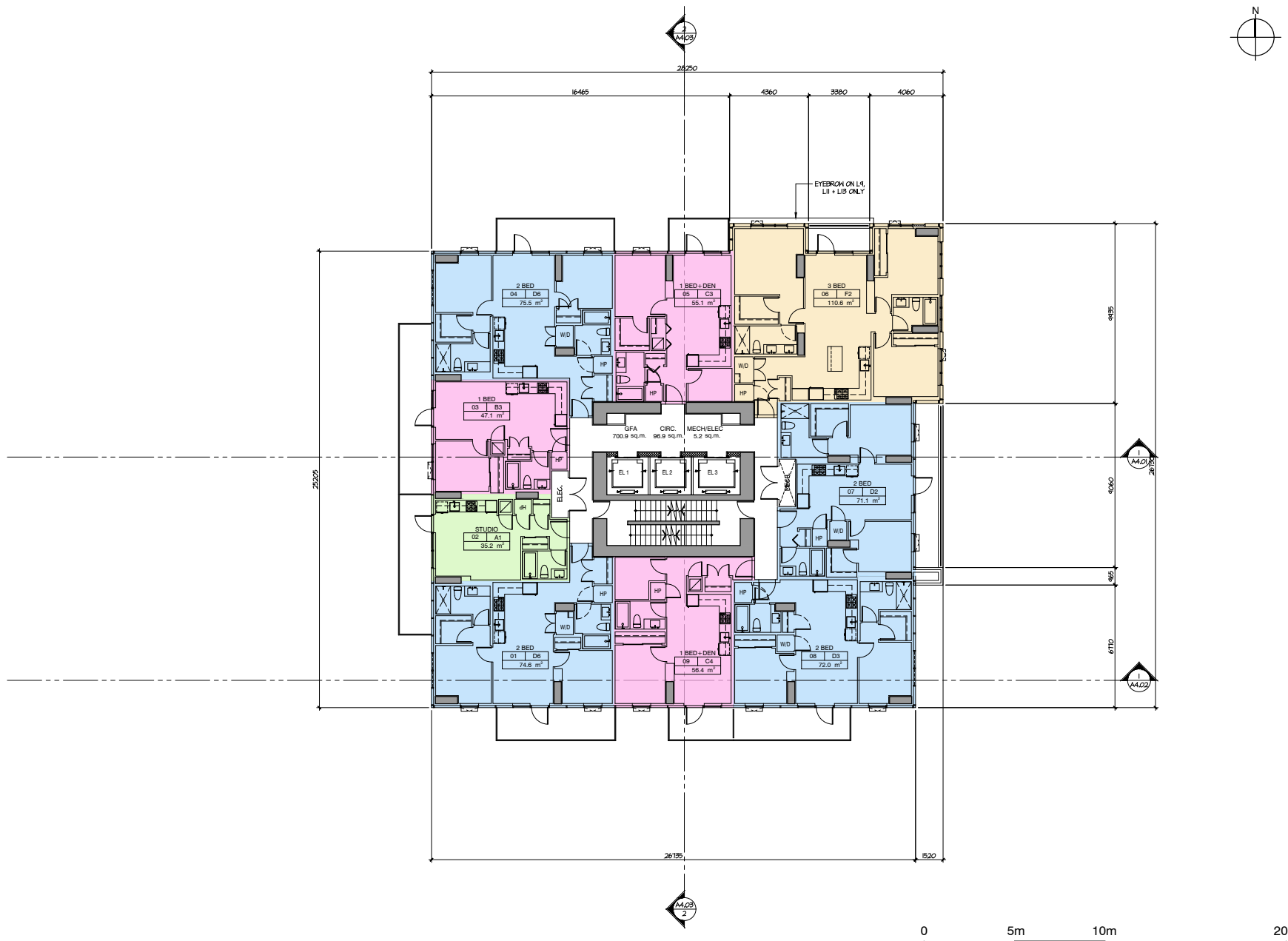
LEVEL 09 TO 13

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PROJECT A220490
DRAWN LM/SS CHECKED CS

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CLIENT

STREETSIDE DEVELOPMENTS

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NO. | DATE | REVISION

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**

13868 104TH AVENUE
SURREY, BC

LEVEL 14

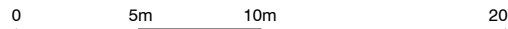
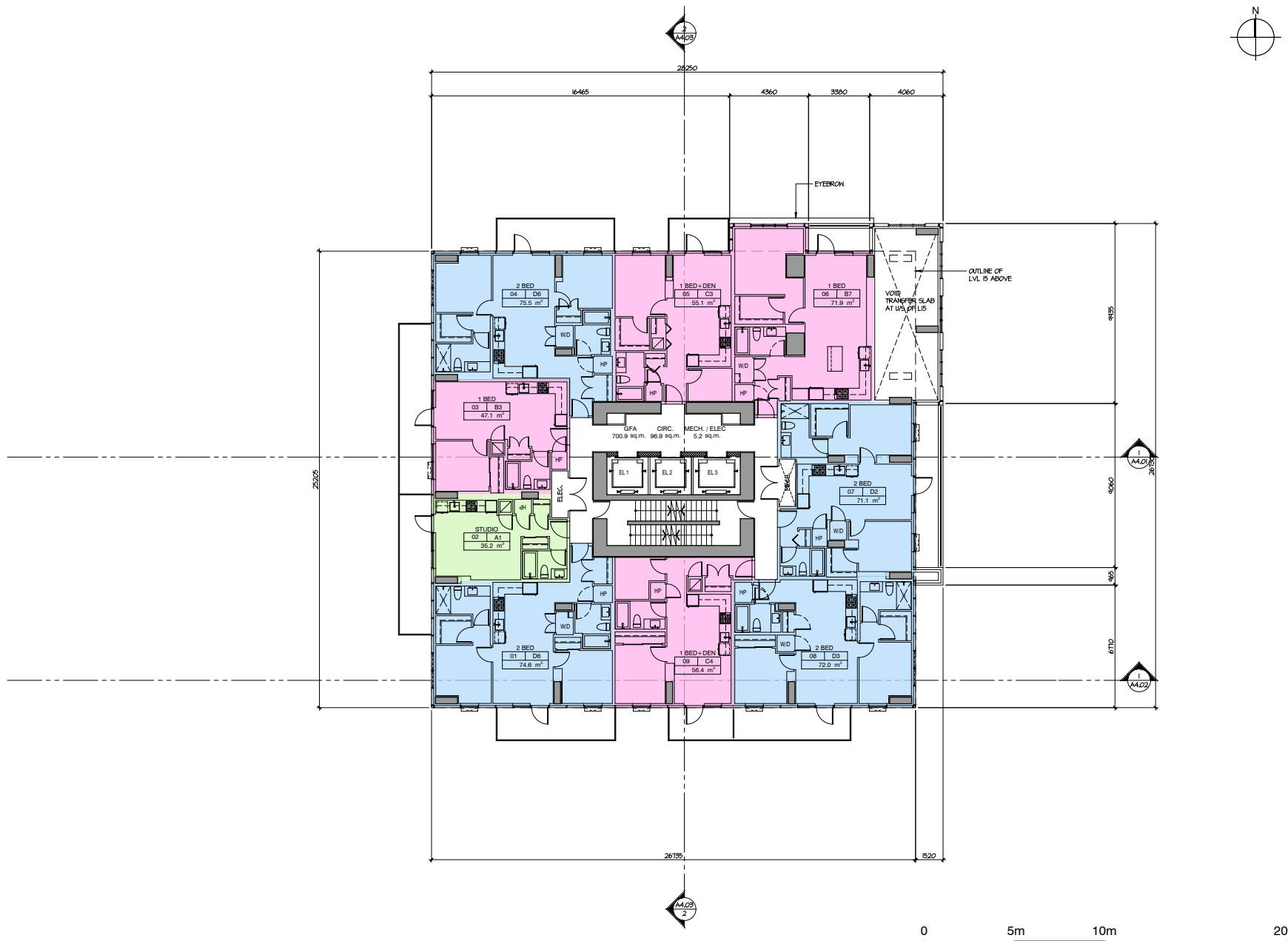
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PROJECT A220490
DRAWN LM/SS **CHECKED** CS

SCALE 1:100
DATE MAY 19, 2022

A2.15



CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE
SURREY, BC

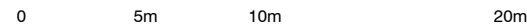
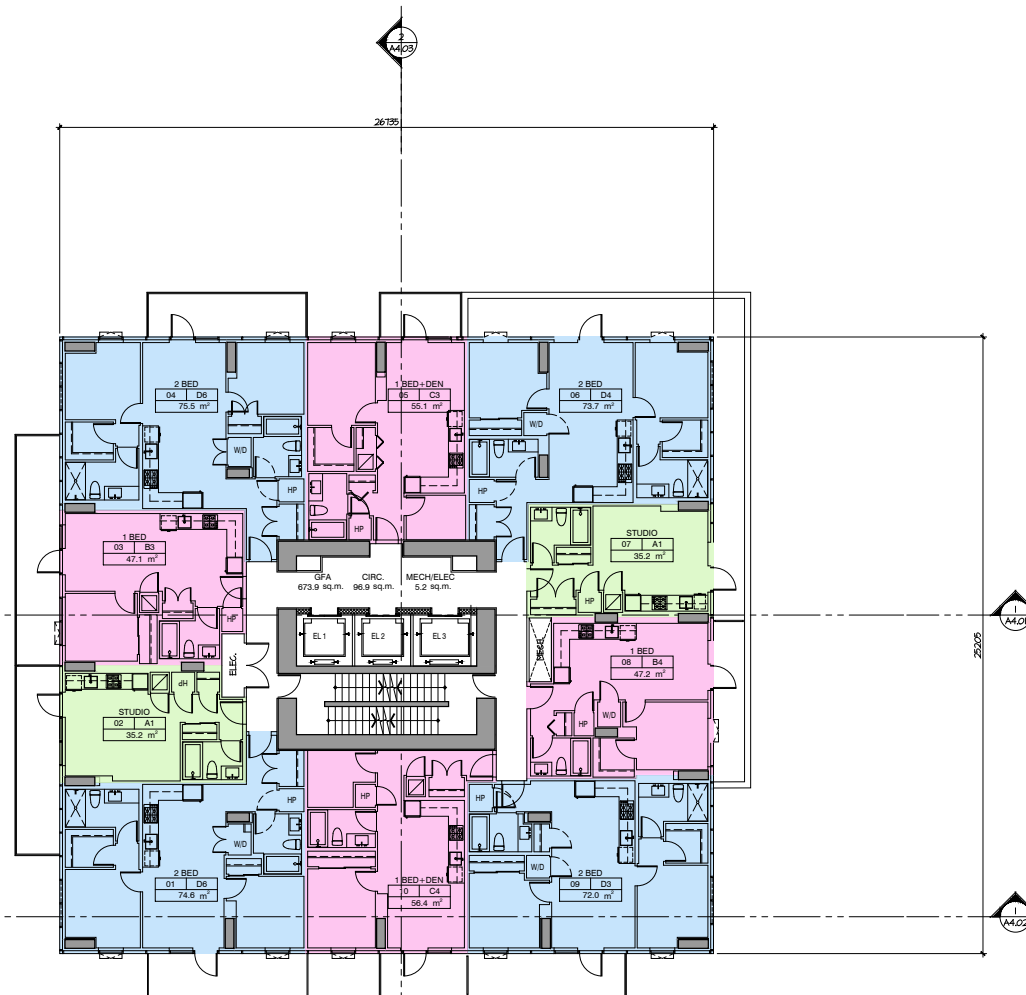
LEVEL 15

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PROJECT A220490
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SCALE 1:100
DATE MAY 19, 2022

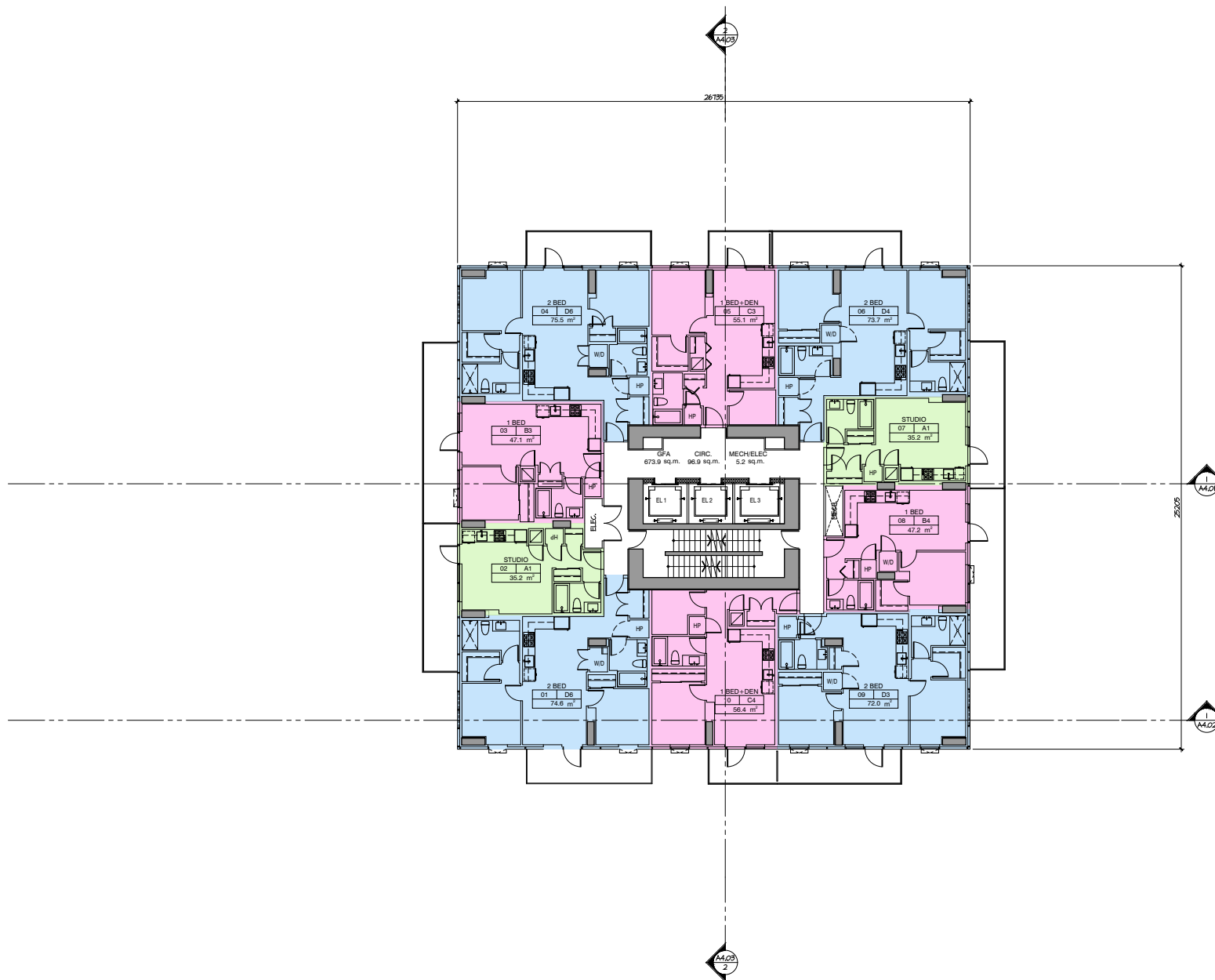


CLIENT

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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE
SURREY, BC

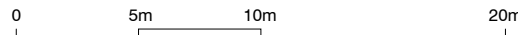
LEVEL 16 TO 31

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PROJECT A220490
DRAWN LM/SS **CHECKED** CS

SCALE 1:100
DATE MAY 19, 2022



A2.17

CLIENT

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NO. | DATE | REVISION

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

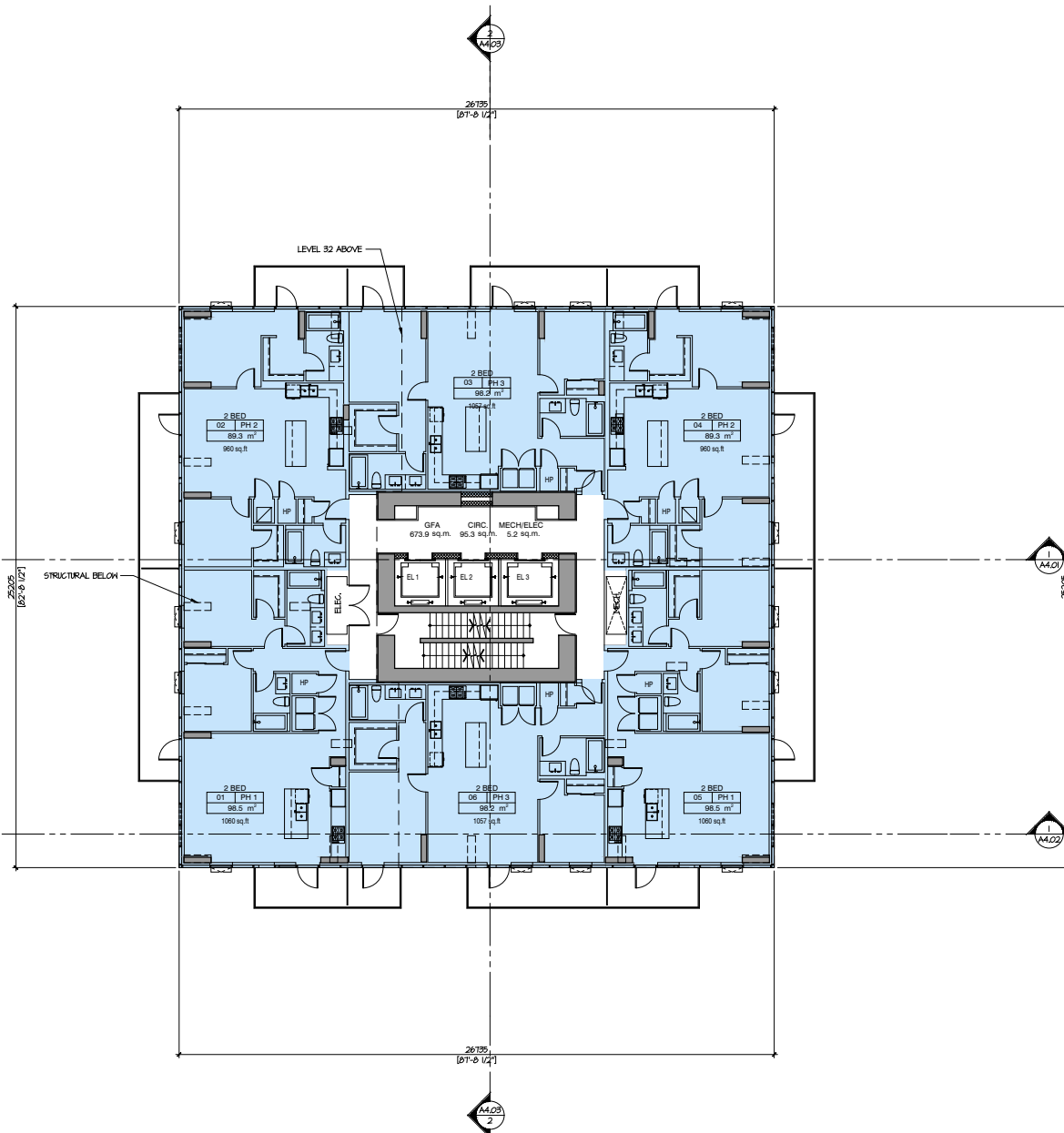
**LEVEL 32
PENTHOUSE**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and locations on the job and dys architecture shall be exempt of any or all claims, suits, damages and proceedings arising therefrom. dys architecture shall not be held liable for any errors or omissions in this drawing unless they are caused by dys architecture for review before proceeding with the drawings.

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DATE MAY 19, 2022





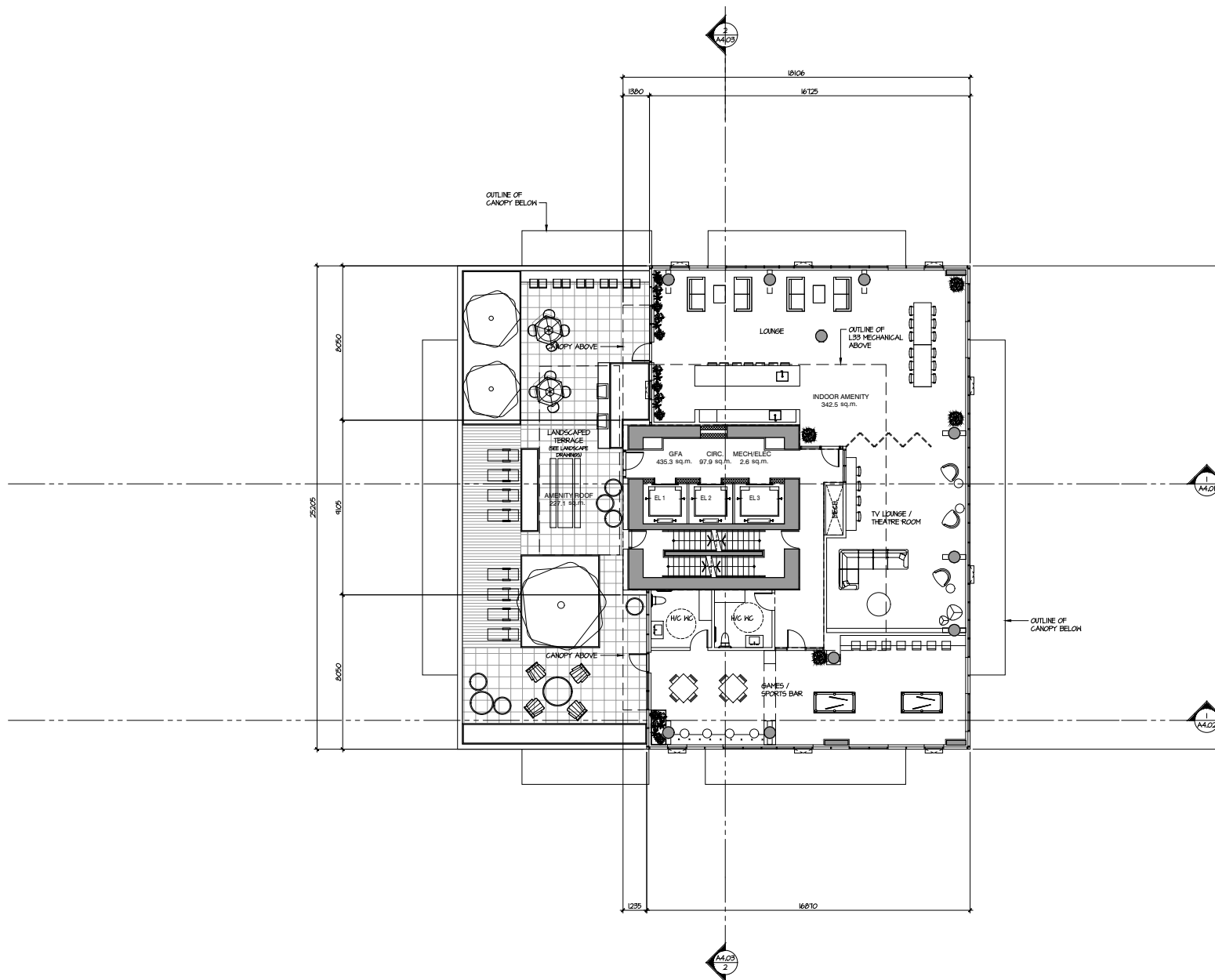
CLIENT

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- 5 | 2022-05-19 | REISSUED FOR RZ/DP

NO. | DATE | REVISION



PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**

13868 104TH AVENUE
SURREY, BC

**LEVEL 33
AMENITY**

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PROJECT A220490
DRAWN L/WSS CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

0 5m 10m 20m

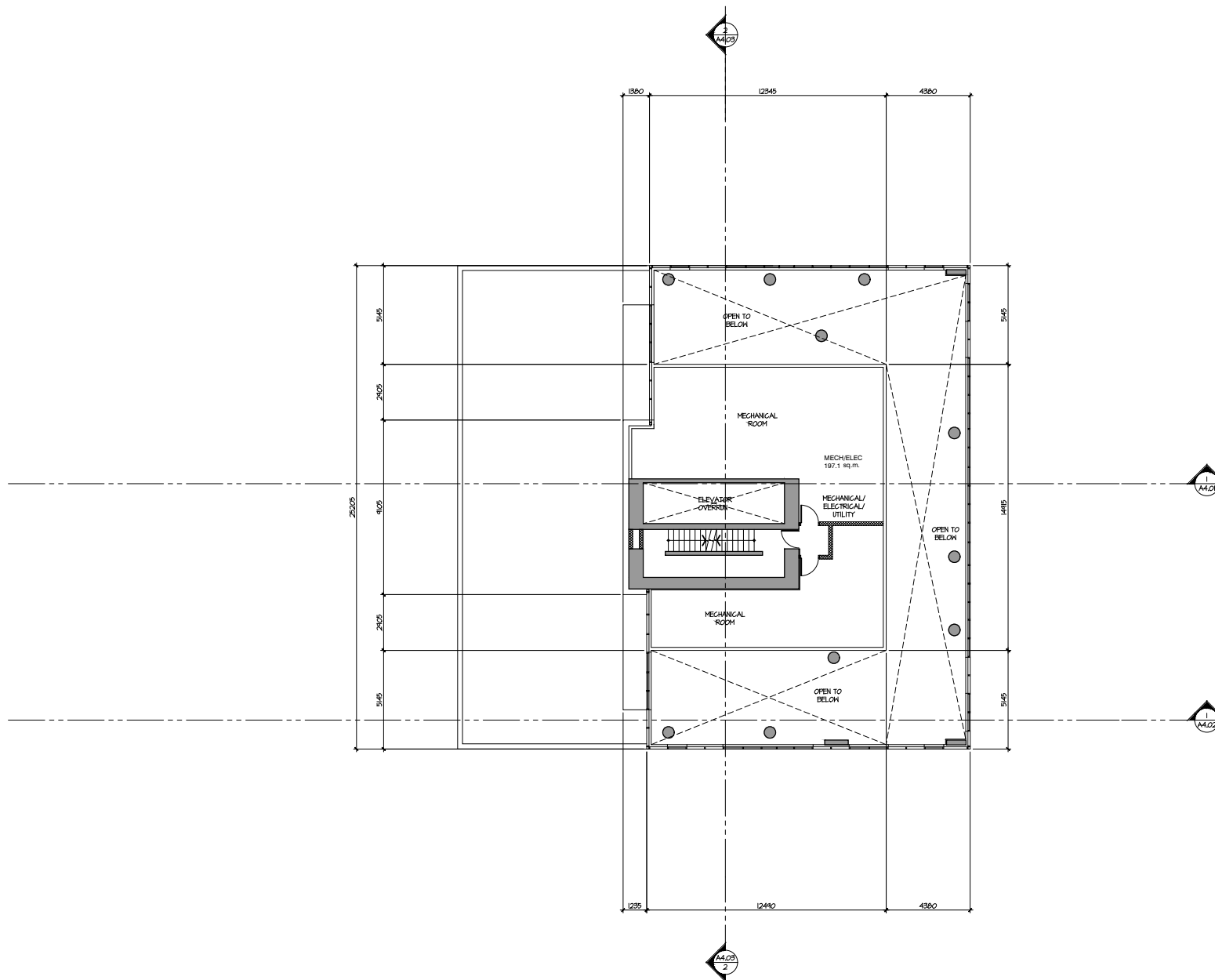


CLIENT

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NO.	DATE	REVISION
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PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104TH AVENUE
SURREY, BC

**LEVEL 34
MECHANICAL**

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SCALE 1:100
DATE MAY 19, 2022

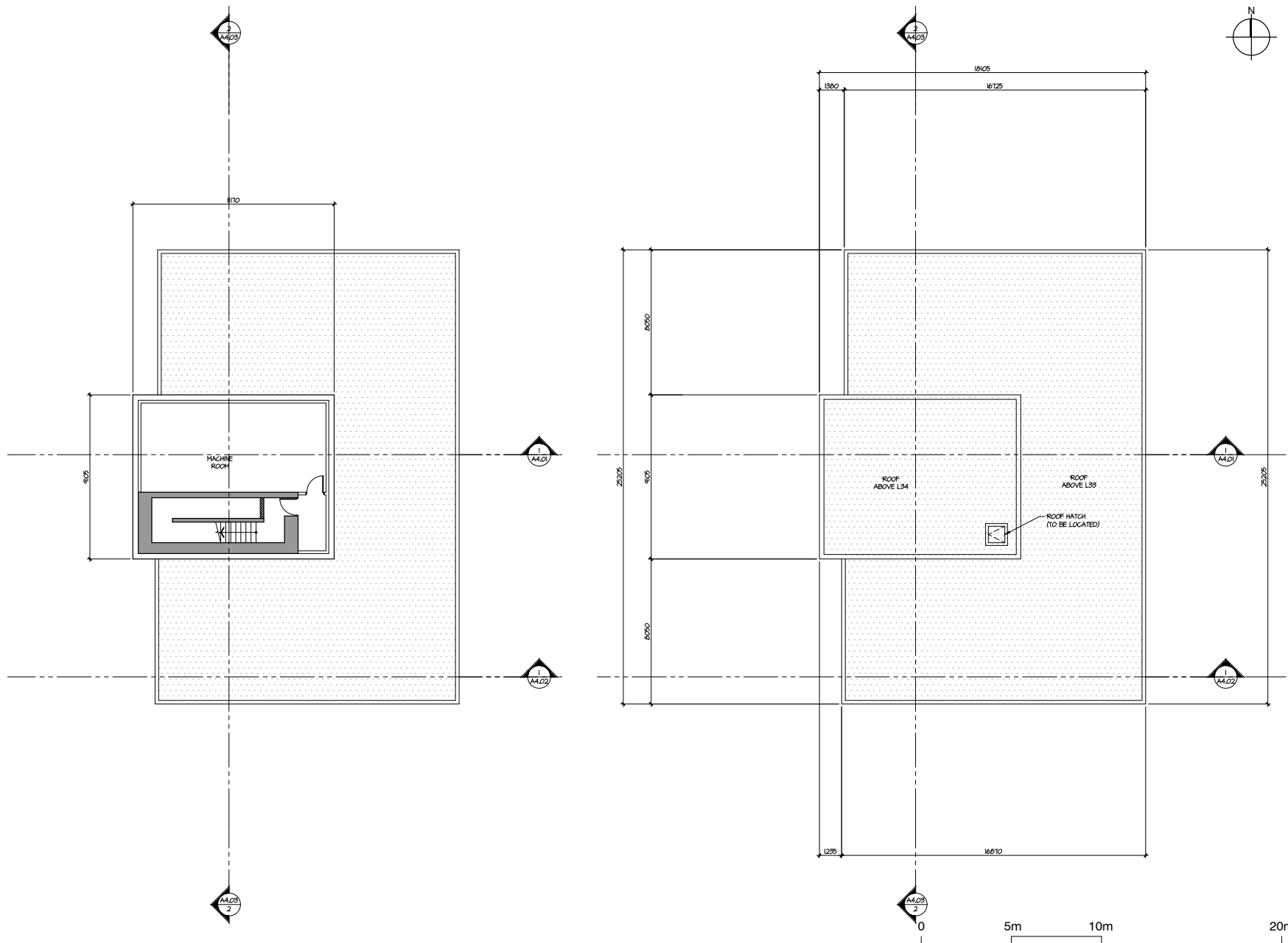
A2.20

CLIENT

STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION
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PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE
SURREY, BC

**LEVEL 35 MECH.
AND ROOF PLAN**

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PROJECT A220490
DRAWN LM CHECKED CS

SCALE 1:100
DATE MAY 19, 2022

A2.21

CLIENT

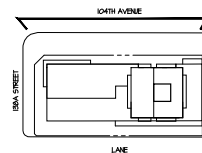
STREETSIDE DEVELOPMENTS

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- 5 | 2022-05-19 | REISSUED FOR RZ/DP

NO. | DATE | REVISION

KEY PLAN



PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**

13868 104TH AVENUE,
SURREY, BC

**BUILDING ELEVATION
NORTH**

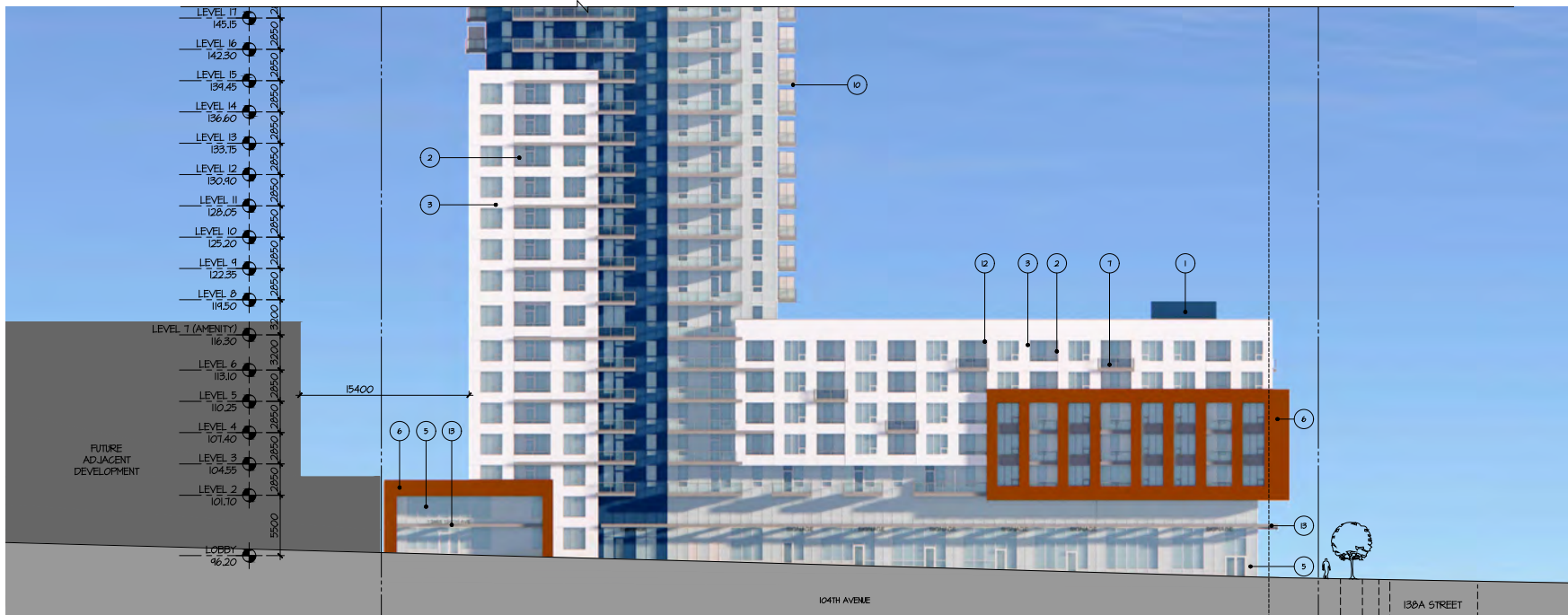
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PROJECT A220490
DRAWN SS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022

A3.01



CLIENT

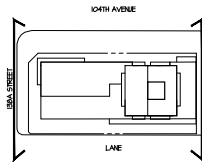
STREETSIDE DEVELOPMENTS

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NO. | DATE | REVISION

KEY PLAN



PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**

13868 104TH AVENUE,
SURREY, BC

**BUILDING ELEVATION
EAST + WEST**

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PROJECT A220490
DRAWN SS CHECKED CS

SCALE 1:200
DATE MAY 19, 2022

A3.02



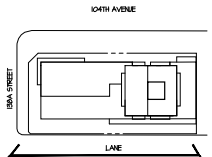
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STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION
-----	------	----------

KEY PLAN



MATERIAL LEGEND	
1	ALUMINUM WINDOW WALL - BLUE G/M BLUE ALUMINUM SPANDREL PANEL
2	ALUMINUM WINDOW WALL - GREY G/M GREY SPANDREL GLASS
3	ALUMINUM WINDOW WALL - WHITE 2" RAISED ALUMINUM SPANDREL PANEL
4	ALUMINUM WINDOW WALL - WHITE G/M WHITE ALUMINUM SPANDREL PANEL
5	ALUMINUM CURTAIN WALL - GREY G/M GREY SPANDREL GLASS
6	COMPOSITE PANEL - COPPER
7	PRE-FINISHED ALUMINUM & GLASS GUARDRAIL - LIGHT GREY
8	ALUMINUM PRIVACY SCREENS - WHITE PANEL G/M WHITE FRAME
9	ALUMINUM PRIVACY SCREENS - BLUE PANEL G/M BLUE FRAME
10	PAINTED BALCONY - TYPICAL GREY WITH WHITE UNDERSIDE
11	CONCRETE CANOPY - TYPICAL GREY WITH WHITE UNDERSIDE
12	BRUSHED ALUMINUM SOFFIT - RAZOR GRAB
13	STEEL AND GLASS CANOPY

ELEV. MACH. RM	PROPERTY LINE
145.80	4000
MECH. FL 141.80	3700
LEVEL 33 (AMENITY) 138.60	3200
LEVEL 32 FL 135.40	3200
LEVEL 31 132.20	3200
LEVEL 30 129.00	2850
LEVEL 29 125.80	2850
LEVEL 28 122.60	2850
LEVEL 27 119.40	2850
LEVEL 26 116.20	2850
LEVEL 25 113.00	2850
LEVEL 24 109.80	2850
LEVEL 23 106.60	2850
LEVEL 22 103.40	2850



LEVEL 11 145.15	2850
LEVEL 16 142.30	2850
LEVEL 15 139.45	2850
LEVEL 14 136.60	2850
LEVEL 13 133.75	2850
LEVEL 12 130.90	2850
LEVEL 11 128.05	2850
LEVEL 10 125.20	2850
LEVEL 9 122.35	2850
LEVEL 8 119.50	2850
LEVEL 7 (AMENITY) 116.30	3000
LEVEL 6 113.10	3200
LEVEL 5 110.25	2850
LEVEL 4 107.40	2850
LEVEL 3 104.55	2850
LEVEL 2 101.70	2850
LOBBY 96.20	5500

PROJECT

MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT
13868 104TH AVENUE,
SURREY, BC

BUILDING ELEVATION
SOUTH

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PROJECT A220490
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SCALE 1:200
DATE MAY 19, 2022

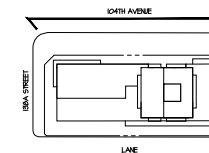
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KEY PLAN



ADJACENT PROPERTY (LOWRISE COMMERCIAL)

PROPOSED 33-STOREY TOWER DEVELOPMENT

ADJACENT PROPERTY (LOWRISE COMMERCIAL)

STREETSCAPE ELEVATION Current Context - Low-rise Commercial



FUTURE ~30-STOREY TOWER DEVELOPMENT

PROPOSED 33-STOREY TOWER DEVELOPMENT

FUTURE ~35-STOREY TOWER DEVELOPMENT

STREETSCAPE ELEVATION Future Context - Tower Height Transition

PROJECT

**MIXED-USE RESIDENTIAL,
 COMMERCIAL RETAIL AND
 OFFICE DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

**STREETSCAPE
 104th AVE
 CURRENT + FUTURE**

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PROJECT A220490
 DRAWN SS CHECKED CS

SCALE 1:500
 DATE MAY 19, 2022



A3.04

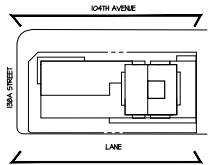
CLIENT

STREETSIDE DEVELOPMENTS

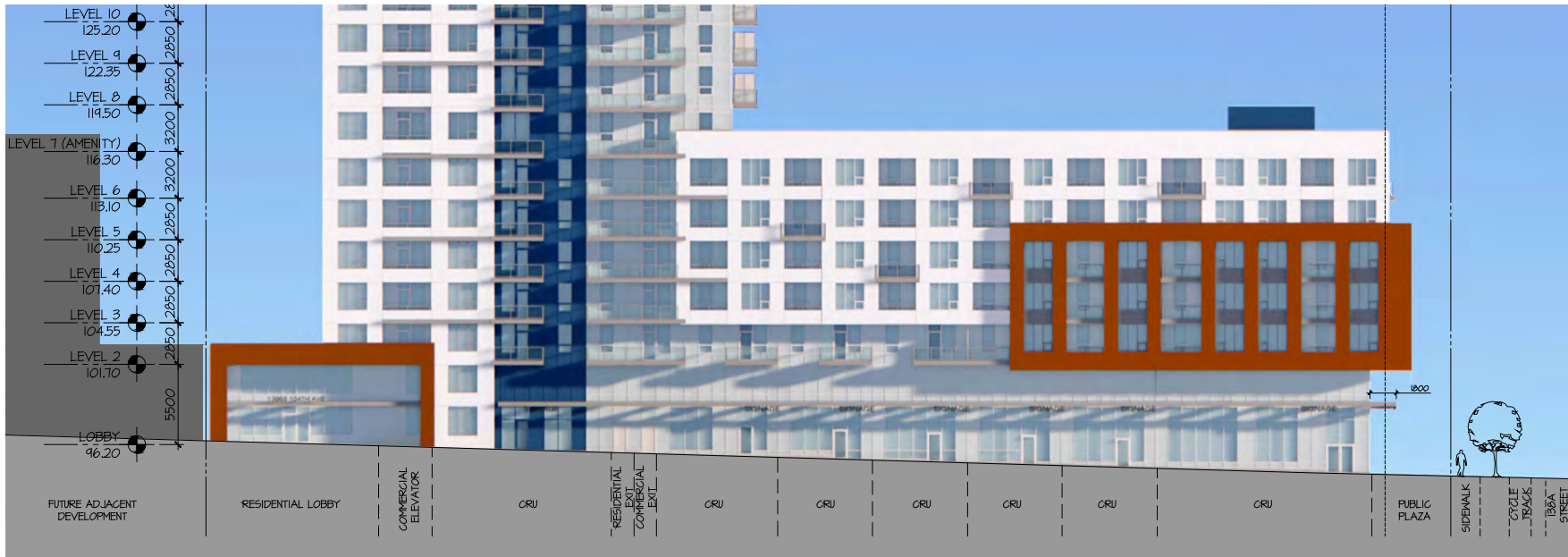
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NO.	DATE	REVISION
-----	------	----------

KEY PLAN



STREET FRONTAGE South frontage along the line



STREET FRONTAGE North frontage along 104th Avenue

PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104th Avenue,
SURREY, BC

**STREET FRONTAGE
104th AVE +
GREEN LANE**

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SCALE 1:150
DATE MAY 19, 2022

CLIENT

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NO.	DATE	REVISION
-----	------	----------



AERIAL VIEW Looking South West with Current Context



AERIAL VIEW Looking North East with Future Context

PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**

13868 104TH AVENUE,
SURREY, BC

**PERSPECTIVES
AERIAL VIEW**

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PROJECT A220490
DRAWN SS CHECKED CS

SCALE NTS
DATE MAY 19, 2022

A3.06

CLIENT

STREETSIDE DEVELOPMENTS

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1	2021-06-17	ISSUED FOR RZ/DP
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STREET VIEW Looking South West from 104th Avenue



STREET VIEW Looking South East from 104th Avenue at 138A Street

PROJECT

**MIXED-USE RESIDENTIAL,
 COMMERCIAL RETAIL AND
 OFFICE DEVELOPMENT**
 13868 104TH AVENUE,
 SURREY, BC

**PERSPECTIVES
 STREET VIEW**

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PROJECT A220490
 DRAWN SS CHECKED CS

SCALE NTS
 DATE MAY 19, 2022

A3.07a

CLIENT

STREETSIDE DEVELOPMENTS

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NO.	DATE	REVISION
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STREET VIEW Looking North East from 138A Street at the Lane



STREET VIEW Looking North West from the Lane

PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**PERSPECTIVES
STREET VIEW**

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PROJECT A220490
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A3.07b

CLIENT

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2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------



PUBLIC REALM Looking South East from 104th Avenue at 138A Street

PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**PERSPECTIVES
PUBLIC REALM**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Any drawings shall be returned to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN SS CHECKED CS

SCALE NTS
DATE MAY 19, 2022

A3.08a

CLIENT

STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-06-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------



PUBLIC REALM Looking North East from 138A Street at the Lane

PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**PERSPECTIVES
PUBLIC REALM**

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PROJECT A220490
DRAWN SS CHECKED CS

SCALE NTS
DATE MAY 19, 2022

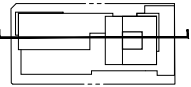
A3.08b

CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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KEY PLAN



PROJECT

MIXED-USE RESIDENTIAL, COMMERCIAL RETAIL AND OFFICE BUILDING
13868 104TH AVENUE, SURREY, BC

BUILDING SECTION SECTION A

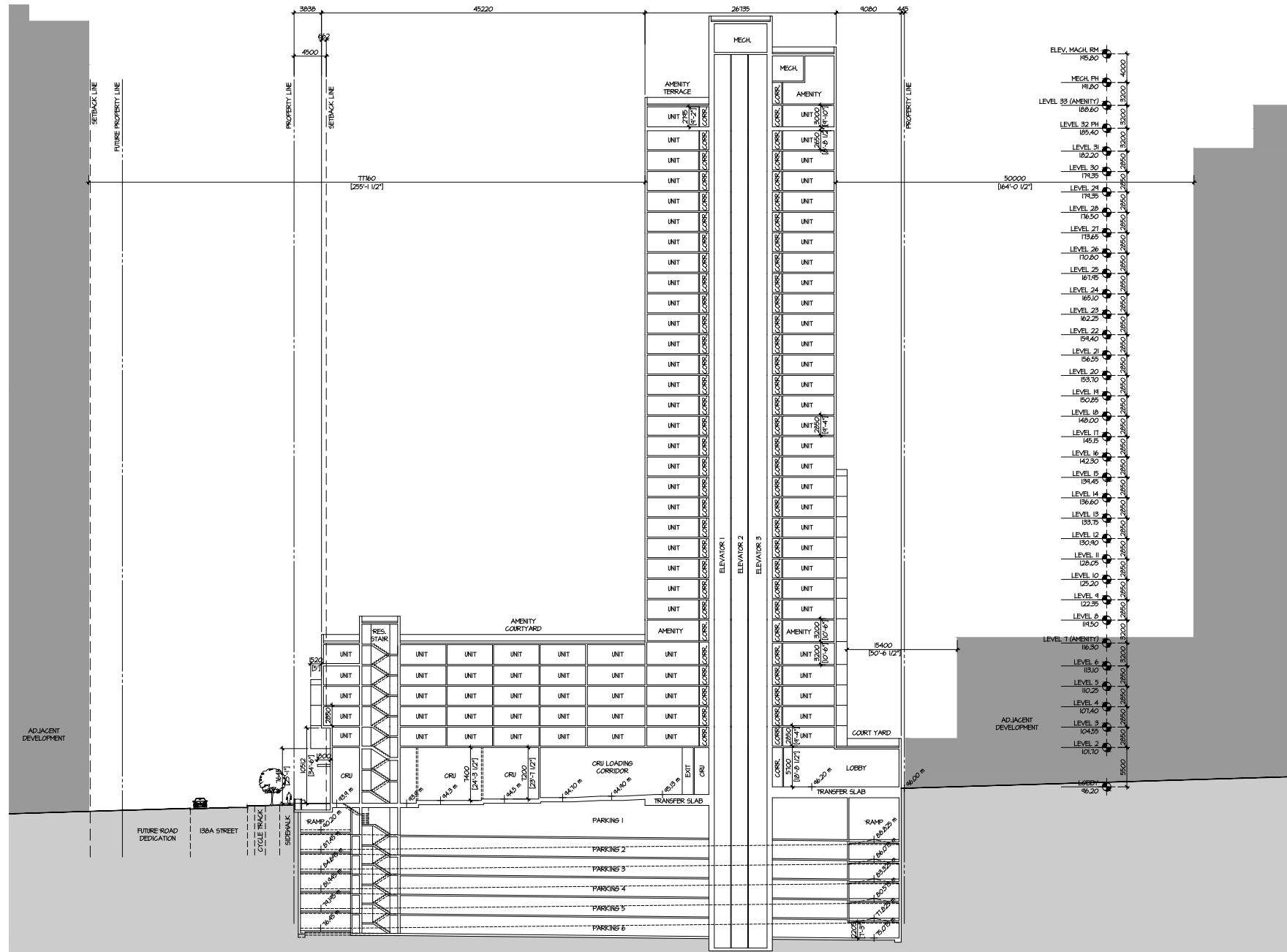
This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provider always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be responsible if any are shown. Any changes and additions shall be shown on drawings. Any drawings shall be returned to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN SS/SL CHECKED CS

SCALE 1:250
DATE MAY 19, 2022

A4.01

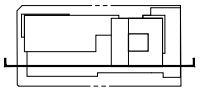


CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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KEY PLAN



PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**BUILDING SECTION
SECTION B**

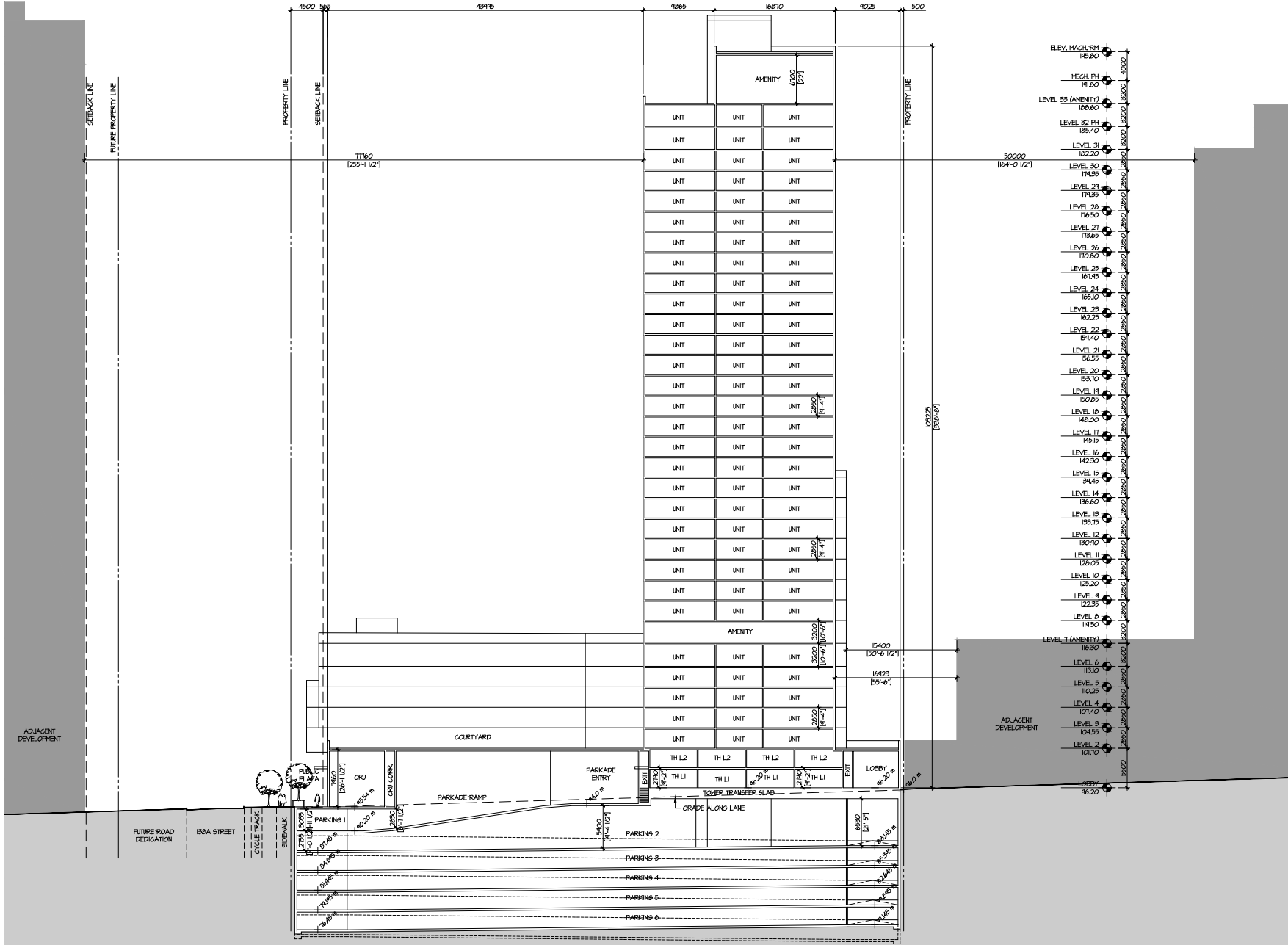
This drawing is an instrument of service in the property of dys architecture and may not be reproduced without their permission and provided always that any reproduction carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be exempt of any liability from the operation and production thereof on the drawings. Any drawings shall be returned to dys architecture for review before proceeding with fabrication.

PROJECT A220490
DRAWN SS/SL CHECKED CS

SCALE 1:250
DATE MAY 19, 2022

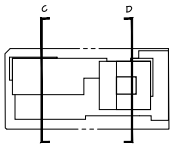
A4.02



NO.	DATE	ISSUE
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2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
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KEY PLAN



PROJECT

**MIXED-USE RESIDENTIAL,
COMMERCIAL RETAIL AND
OFFICE DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**BUILDING SECTION
SECTION C + D**

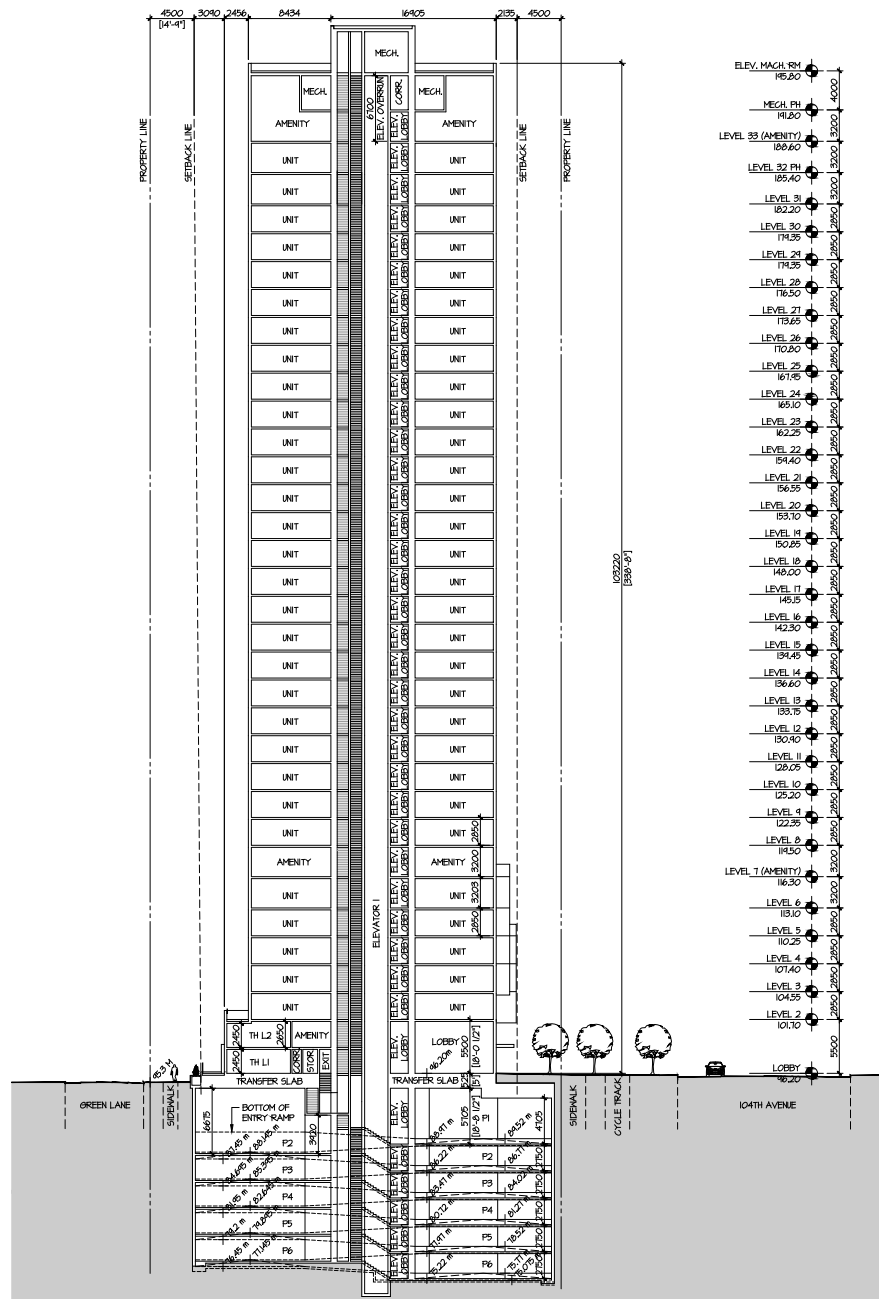
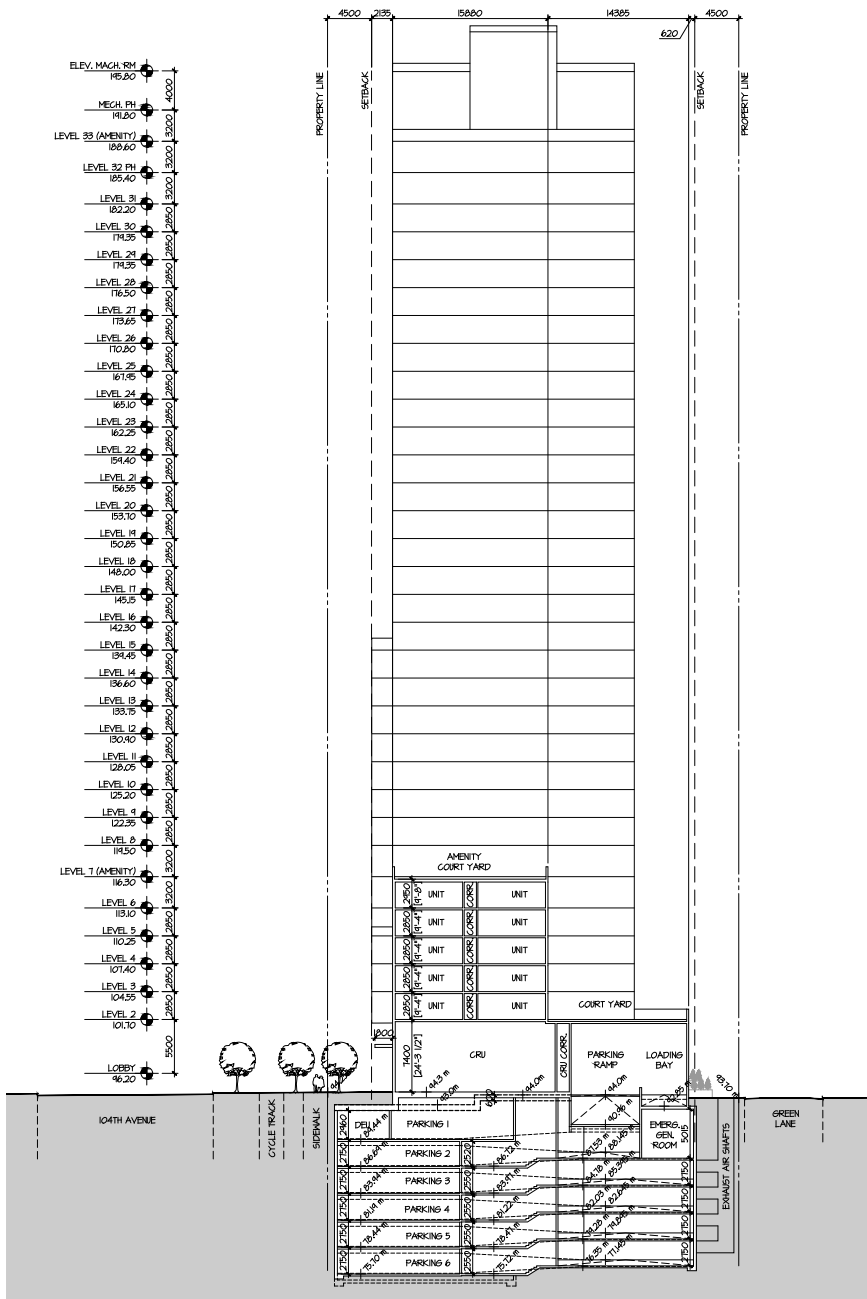
This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without the permission and written consent of any producer carries their name. All designs and other information shown on the drawings are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Plans of all kind carry the name of dys architecture up to the date of issue of this drawing as a condition precedent to the contract.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall not be responsible for any errors due to the dimensions and conditions shown on the drawings. dys architecture shall not be responsible for any errors due to the dimensions and conditions shown on the drawings.

PROJECT A220490
DRAWN SS/CL CHECKED CS

SCALE 1:250
DATE MAY 19, 2022

A4.03

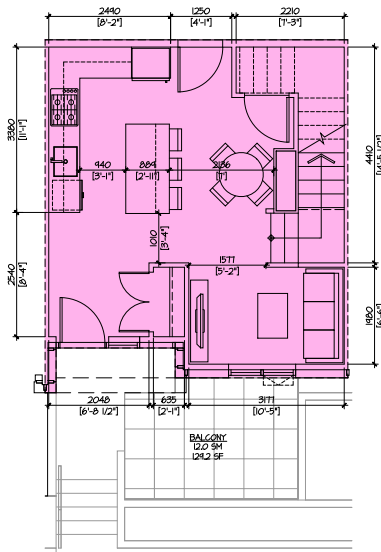


CLIENT

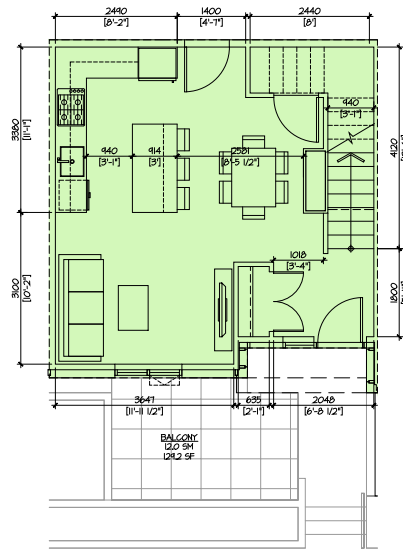
STREETSIDE DEVELOPMENTS

- | NO. | DATE | ISSUE |
|-----|------------|--------------------|
| 1 | 2021-05-17 | ISSUED FOR RZ/DP |
| 2 | 2022-02-25 | REISSUED FOR RZ/DP |
| 3 | 2022-04-05 | REISSUED FOR RZ/DP |
| 4 | 2022-04-12 | ISSUED FOR ADP |
| 5 | 2022-05-19 | REISSUED FOR RZ/DP |

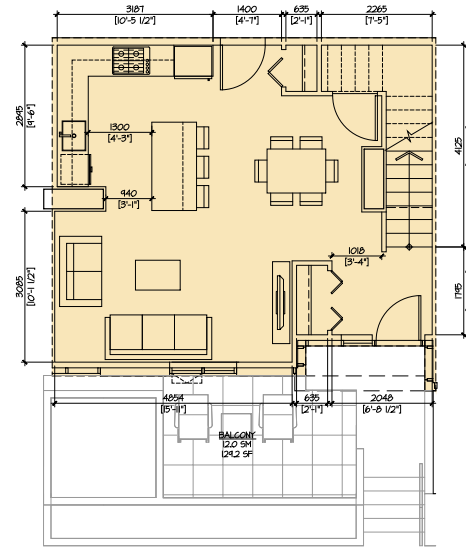
NO. | DATE | REVISION



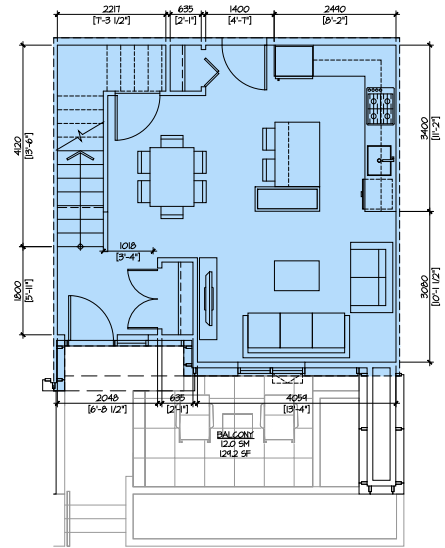
TH TOWNHOUSE L1-A 414.5M
445.6 SF
1 UNIT
SCALE: 1:50
COMBINED 84.2 SM
406.3 SF



TH TOWNHOUSE L1-B 450.0M
484.4 SF
1 UNIT
SCALE: 1:50
COMBINED 418.5M
488.8 SF



TH TOWNHOUSE L1-C 522.0M
560.3 SF
1 UNIT
SCALE: 1:50
COMBINED 116.8 SM
1251.2 SF



TH TOWNHOUSE L1-D 471.5M
513.3 SF
1 UNIT
SCALE: 1:50
COMBINED 106.0 SM
1141.0 SF



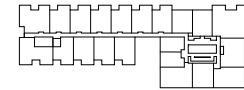
LEVEL 32



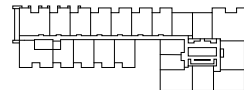
LEVEL 15 TO 31



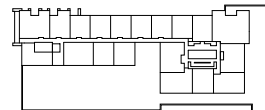
LEVEL 8 TO 14



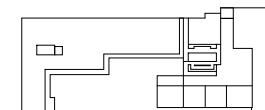
LEVEL 5 TO 6



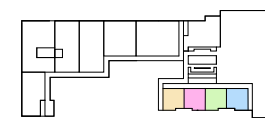
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**TOWNHOUSE L1
UNIT PLANS**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be exempt of any or all claims from the contractors and professions shown on the drawings. Any drawings shall submitted to dys architecture for review before proceeding with construction.

PROJECT A220490
DRAWN LAWSO CHECKED CS

SCALE 1:50
DATE MAY 19, 2022

A6.01a

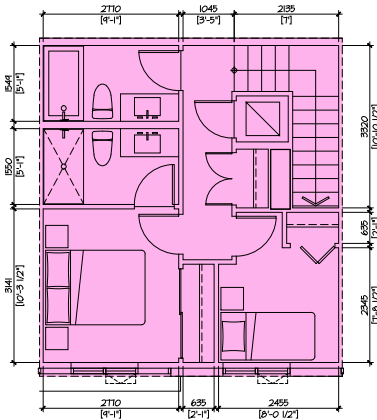
CLIENT

STREETSIDE DEVELOPMENTS

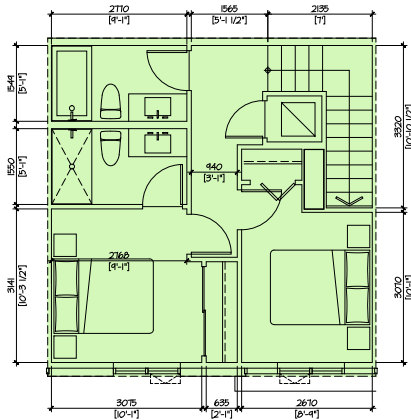
NO. | DATE | ISSUE

- 1 | 2021-05-17 | ISSUED FOR RZ/DP
- 2 | 2022-02-25 | REISSUED FOR RZ/DP
- 3 | 2022-04-05 | REISSUED FOR RZ/DP
- 4 | 2022-04-12 | ISSUED FOR ADP
- 5 | 2022-05-19 | REISSUED FOR RZ/DP

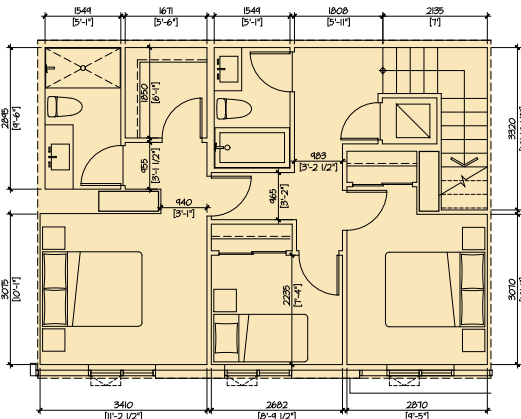
NO. | DATE | REVISION



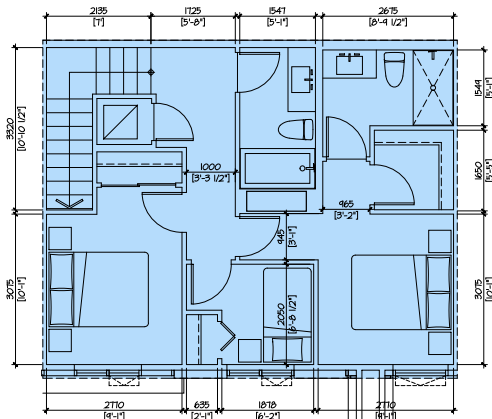
TH TOWNHOUSE L2-A
SCALE: 1:50
42.8 SM
460.1 SF
1 UNIT
COMBINED 84.2 SM
906.3 SF



TH TOWNHOUSE L2-B
SCALE: 1:50
46.4 SM
494.4 SF
1 UNIT
COMBINED 91.4 SM
983.9 SF



TH TOWNHOUSE L2-C
SCALE: 1:50
64.0 SM
686.4 SF
1 UNIT
COMBINED 16.8 SM
125.2 SF



TH TOWNHOUSE L2-D
SCALE: 1:50
58.5 SM
624.1 SF
1 UNIT
COMBINED 106.0 SM
1140.0 SF



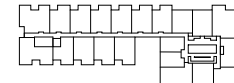
LEVEL 32



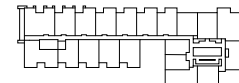
LEVEL 15 TO 31



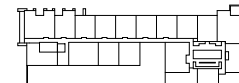
LEVEL 8 TO 14



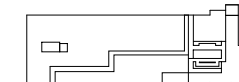
LEVEL 5 TO 6



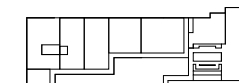
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**
13868 104TH AVENUE,
SURREY, BC

**TOWNHOUSE L2
UNIT PLANS**

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PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:50
DATE MAY 19, 2022

A6.01b

CLIENT

STREETSIDE DEVELOPMENTS

NO. | DATE | ISSUE

- 1 | 2021-05-17 | ISSUED FOR RZ/DP
- 2 | 2022-02-25 | REISSUED FOR RZ/DP
- 3 | 2022-04-05 | REISSUED FOR RZ/DP
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- 5 | 2022-05-19 | REISSUED FOR RZ/DP

NO. | DATE | REVISION



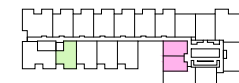
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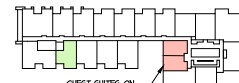
LEVEL 15 TO 31



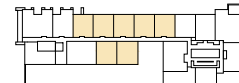
LEVEL 8 TO 14



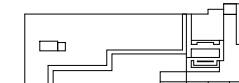
LEVEL 5 TO 6



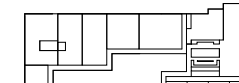
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT

**MIXED-USE RESIDENTIAL
AND COMMERCIAL RETAIL
DEVELOPMENT**

13868 104TH AVENUE,
SURREY, BC

UNIT PLANS

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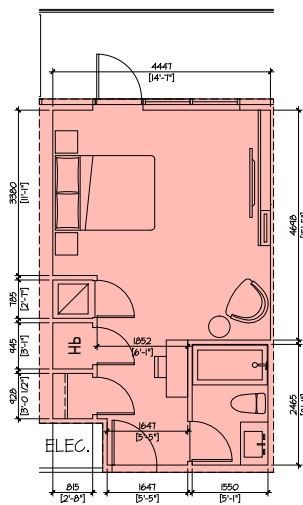
PROJECT A220490

DRAWN L.W.S.S. CHECKED C.S.

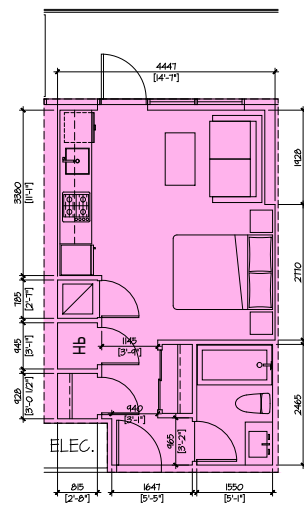
SCALE 1:50

DATE MAY 19, 2022

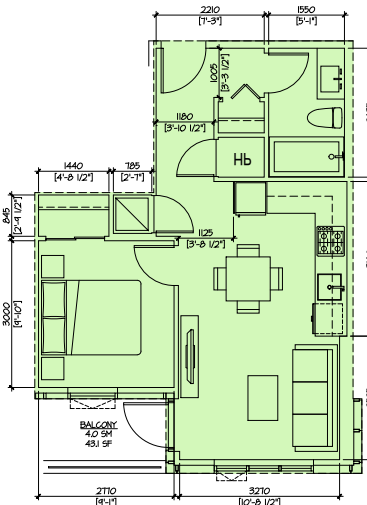
A6.02



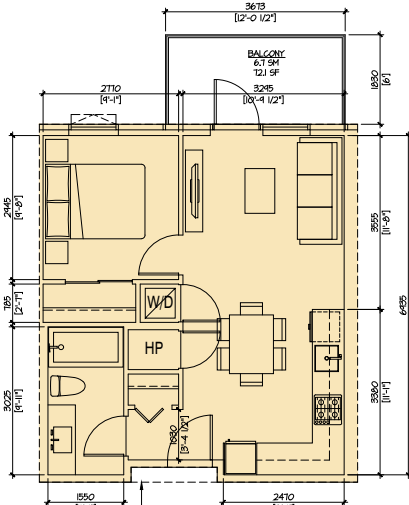
00 GUEST SUITE
SCALE: 1:50
36.2 5H
360.2 5F
2 UNITS



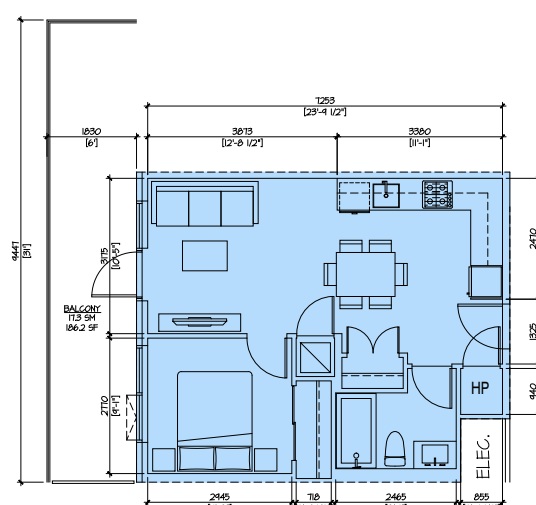
A1 STUDIO
SCALE: 1:50
36.2 5H
360.2 5F
45 UNITS



B1 1 BED
SCALE: 1:50
46.2 5H
411.2 5F
1 UNIT



B2 1 BED
SCALE: 1:50
47.1 5H
417.6 5H
5 UNITS 2 UNITS

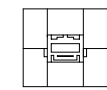
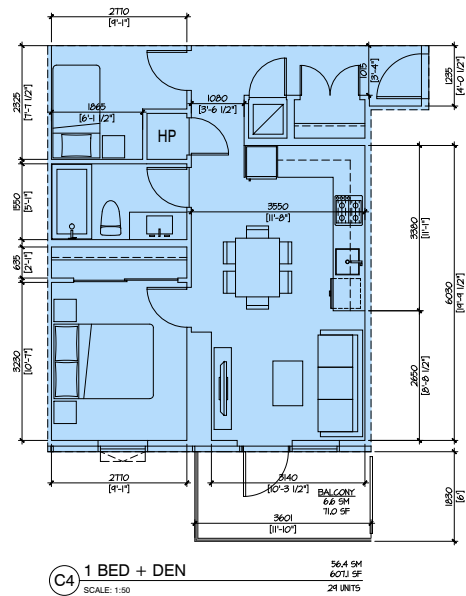
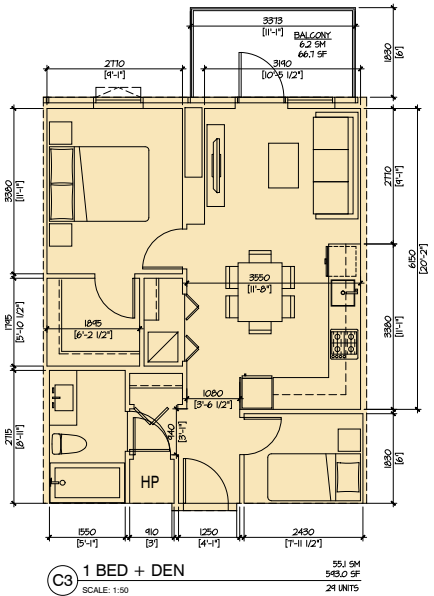
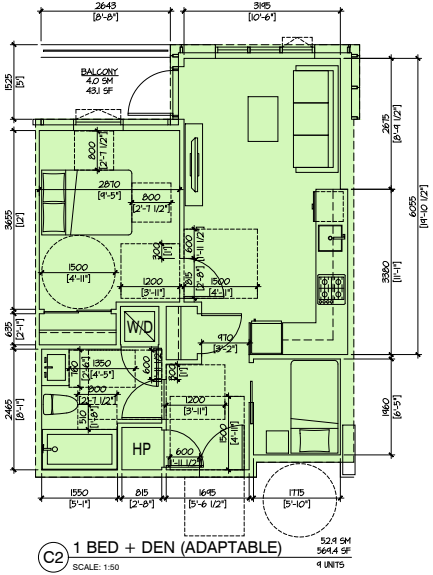
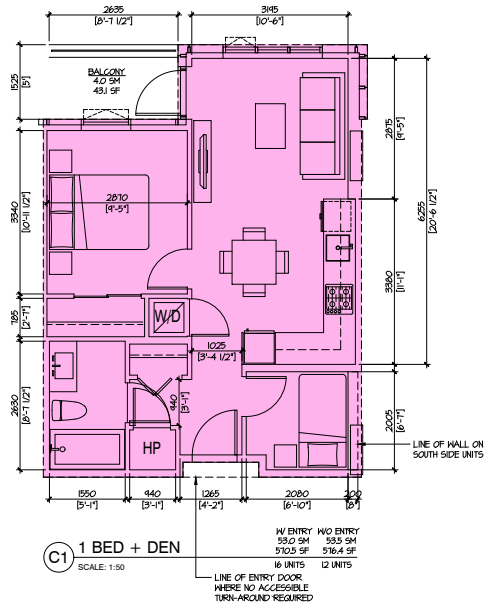


B3 1 BED
SCALE: 1:50
47.1 5H
507.0 5F
24 UNITS

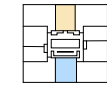
CLIENT
STREETSIDE DEVELOPMENTS

NO.	DATE	ISSUE
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2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

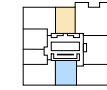
NO.	DATE	REVISION



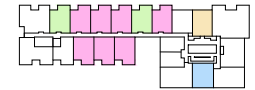
LEVEL 32



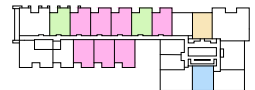
LEVEL 15 TO 31



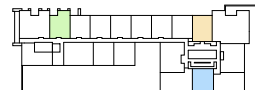
LEVEL 8 TO 14



LEVEL 5 TO 6



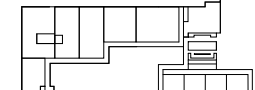
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
 13868 104TH AVENUE, SURREY, BC

UNIT PLANS

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PROJECT A220490
 DRAWN LWSS CHECKED CS

SCALE 1:50
 DATE MAY 19, 2022

A6.04

CLIENT

STREETSIDE DEVELOPMENTS

- | NO. | DATE | ISSUE |
|-----|------------|--------------------|
| 1 | 2021-05-17 | ISSUED FOR RZ/DP |
| 2 | 2022-02-25 | REISSUED FOR RZ/DP |
| 3 | 2022-04-05 | REISSUED FOR RZ/DP |
| 4 | 2022-04-12 | ISSUED FOR ADP |
| 5 | 2022-05-19 | REISSUED FOR RZ/DP |

NO. | DATE | REVISION



LEVEL 32



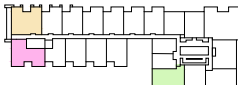
LEVEL 15 TO 31



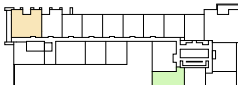
LEVEL 8 TO 14



LEVEL 5 TO 6



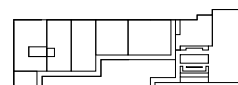
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT

13868 104th AVENUE,
SURREY, BC

UNIT PLANS

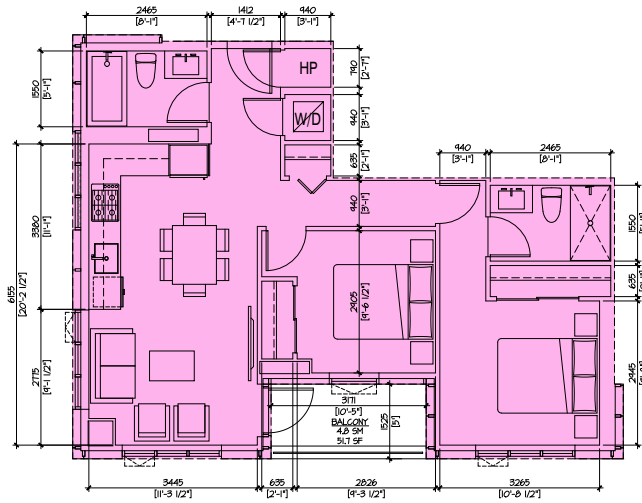
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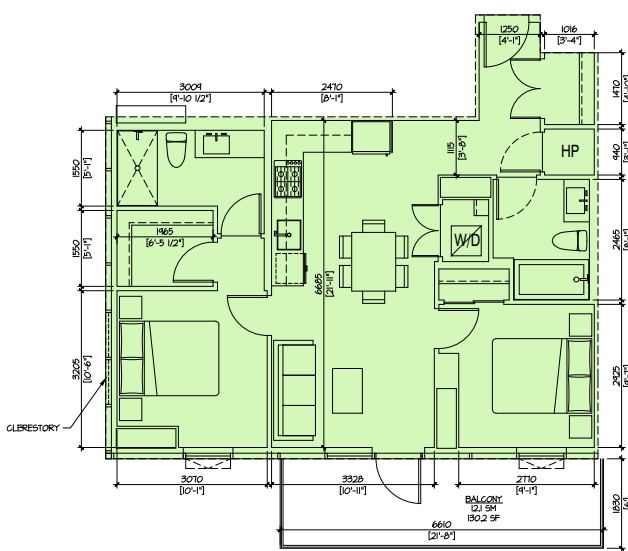
PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:50
DATE MAY 19, 2022

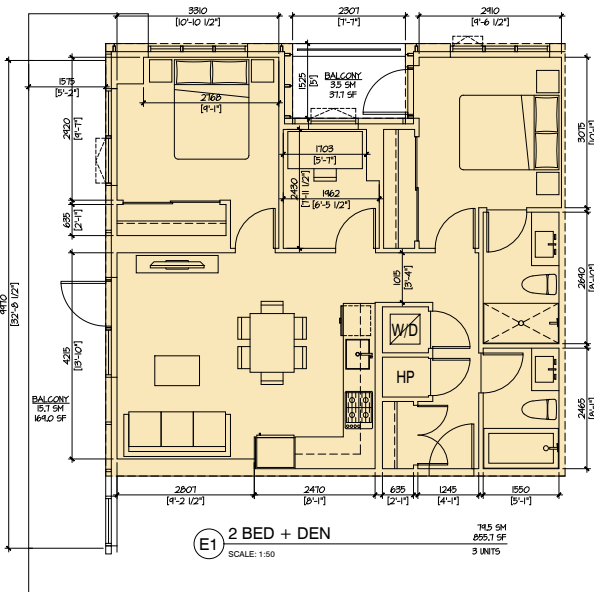
A6.06



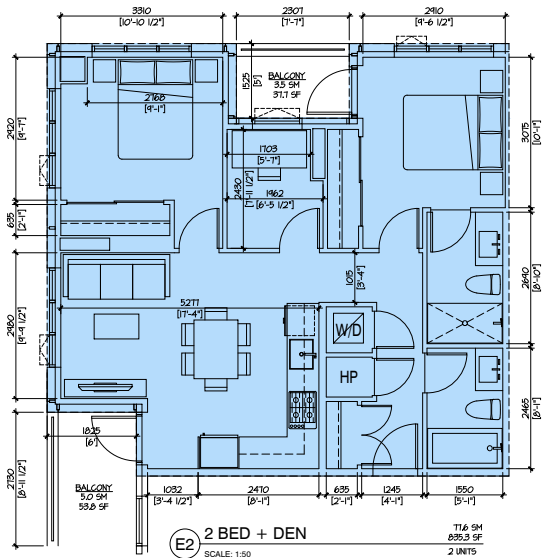
D5 2 BED
SCALE: 1:50
143 SM
800.0 SF
4 UNITS



D6 2 BED
SCALE: 1:50
146 SM
808.0 SF
53 UNITS



E1 2 BED + DEN
SCALE: 1:50
71.5 SM
855.1 SF
3 UNITS



E2 2 BED + DEN
SCALE: 1:50
71.6 SM
855.3 SF
2 UNITS

- NO. | DATE | ISSUE
- 1 | 2021-05-17 | ISSUED FOR RZ/DP
 - 2 | 2022-02-25 | REISSUED FOR RZ/DP
 - 2 | 2022-04-05 | REISSUED FOR RZ/DP
 - 4 | 2022-04-12 | ISSUED FOR ADP
 - 5 | 2022-05-19 | REISSUED FOR RZ/DP

- NO. | DATE | REVISION



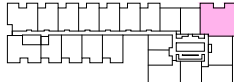
LEVEL 32



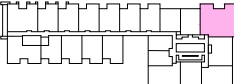
LEVEL 15 TO 31



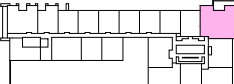
LEVEL 8 TO 14



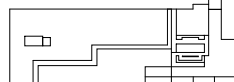
LEVEL 5 TO 6



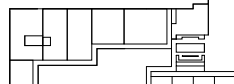
LEVEL 3 TO 4



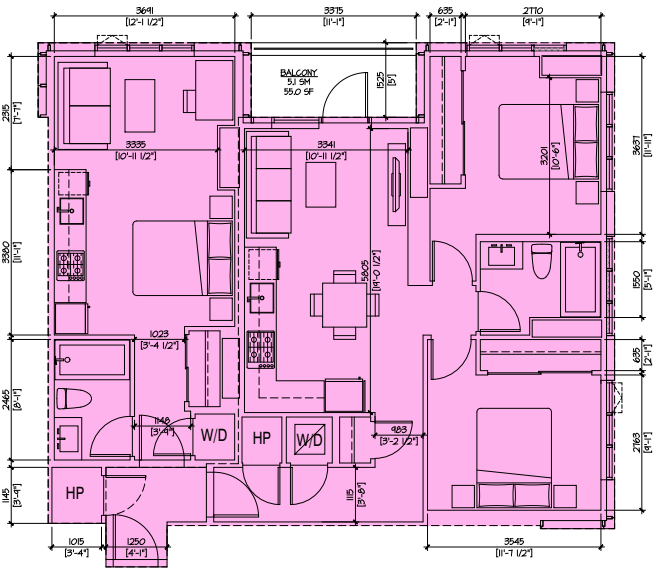
LEVEL 2



MEZZANINE

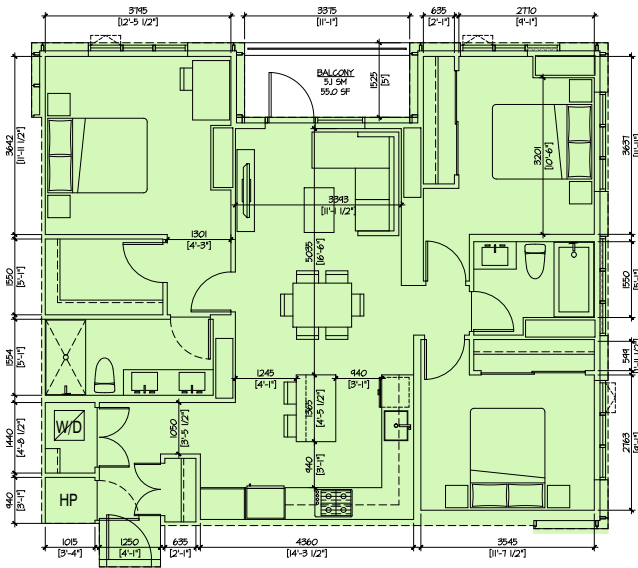


LEVEL 1



F1 3 BED LOCK-OFF
SCALE: 1:30

JR. 2 BED	STUDIO	TOTAL
14,294 SF	35,6 SF	110,6 SF
805,2 SF	386,3 SF	180,3 SF
		5 UNITS



F2 3 BED
SCALE: 1:30

	TOTAL
	110,6 SF
	180,3 SF
	6 UNITS

PROJECT

MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE, SURREY, BC

UNIT PLANS

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PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:50
DATE MAY 19, 2022

A6.07

NO.	DATE	ISSUE
1	2021-05-17	ISSUED FOR RZ/DP
2	2022-02-25	REISSUED FOR RZ/DP
3	2022-04-05	REISSUED FOR RZ/DP
4	2022-04-12	ISSUED FOR ADP
5	2022-05-19	REISSUED FOR RZ/DP

NO.	DATE	REVISION
-----	------	----------



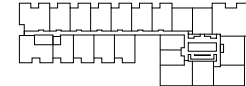
LEVEL 32



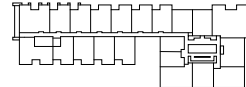
LEVEL 15 TO 31



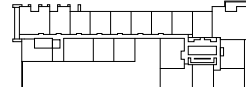
LEVEL 8 TO 14



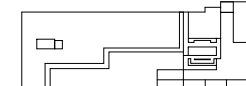
LEVEL 5 TO 6



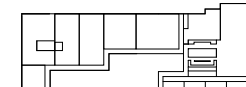
LEVEL 3 TO 4



LEVEL 2



MEZZANINE



LEVEL 1

PROJECT
MIXED-USE RESIDENTIAL AND COMMERCIAL RETAIL DEVELOPMENT
13868 104TH AVENUE, SURREY, BC

UNIT PLANS

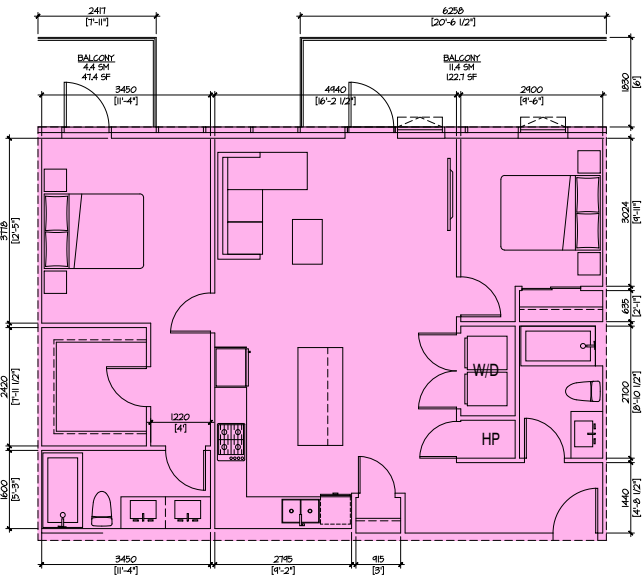
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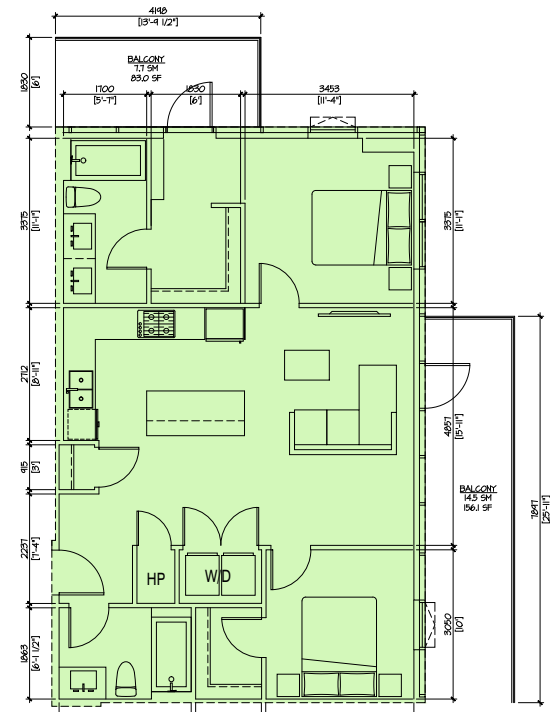
PROJECT A220490
DRAWN LWSS CHECKED CS

SCALE 1:50
DATE MAY 19, 2022

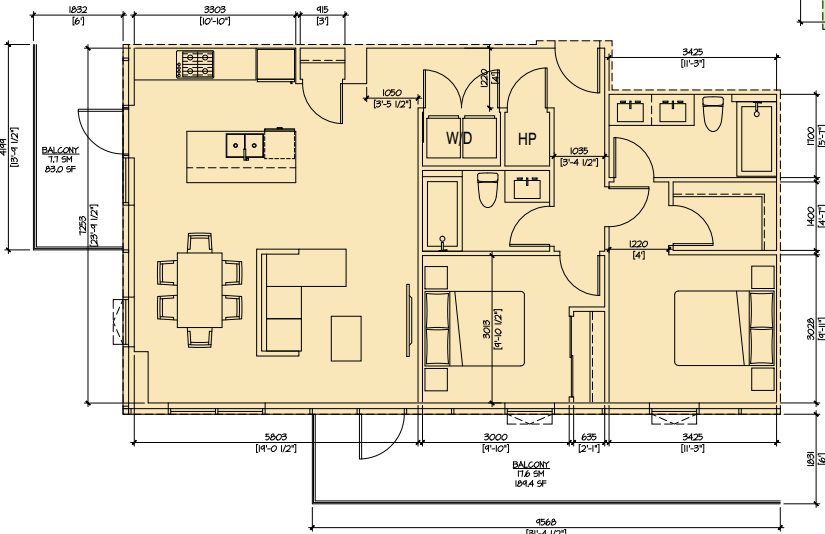
A6.08



PH1 2 BED PENTHOUSE
SCALE: 1:50
48.2 SM
1251.2 SF
02 UNITS



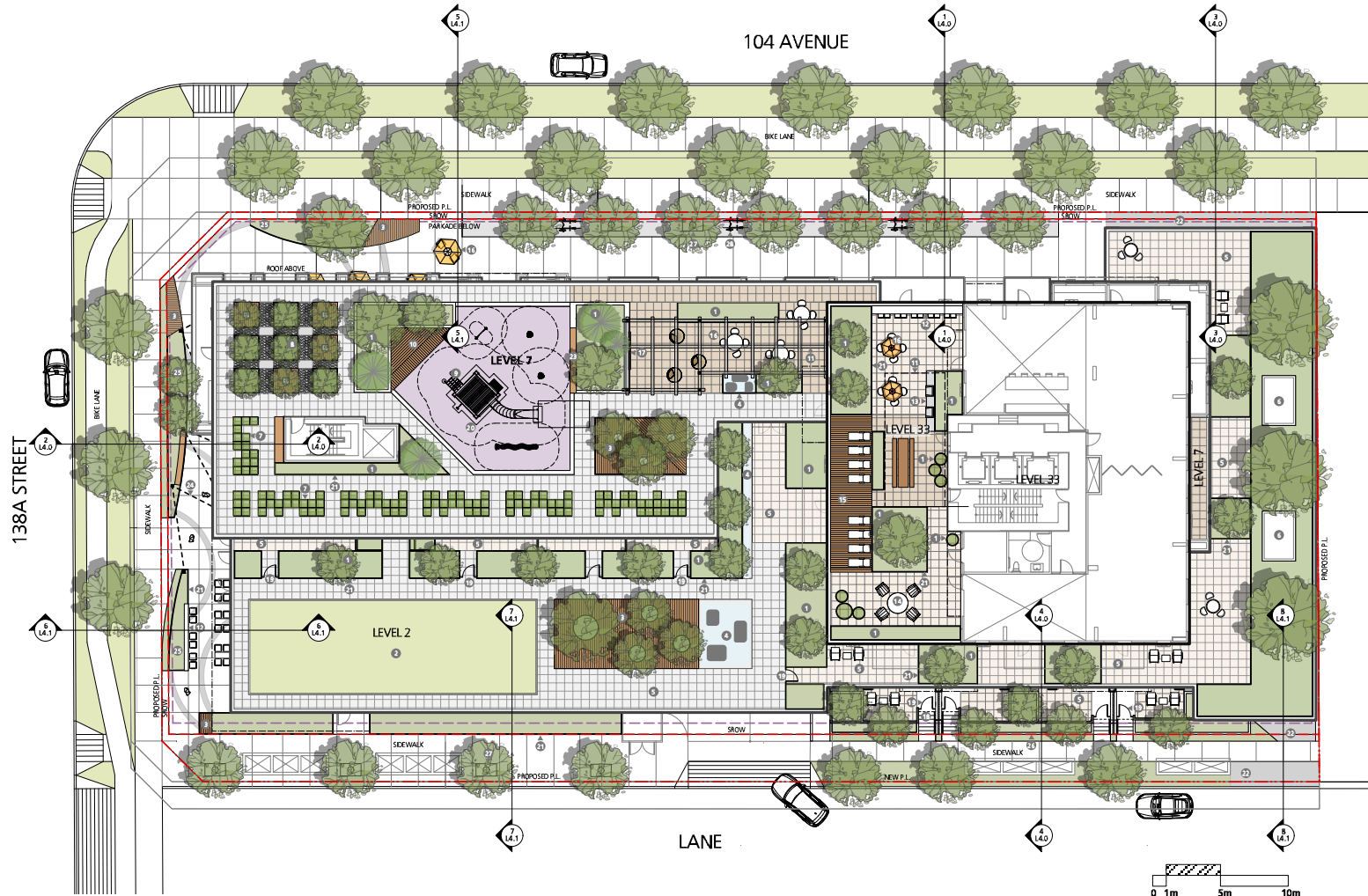
PH2 2 BED PENTHOUSE
SCALE: 1:50
84.3 SM
1861.2 SF
02 UNITS



PH3 2 BED PENTHOUSE
SCALE: 1:50
83.5 SM
1860.2 SF
02 UNITS

KEY

- | | | | | | |
|----------------------|---------------------|---------------------------|-----------------------|------------------------------------|-------------------------------|
| 1 LANDSCAPE PLANTING | 6 SKY LIGHT | 11 TRELLIS / COVERED AREA | 16 OUTDOOR DINING | 23 DECORATIVE METAL ACCENT PLANTER | 26 CONC. RETAINING WALL |
| 2 LAWN | 7 GARDEN PLOTS | 12 OVERLOOK BAR SEATING | 17 MEDIA SCREEN | 22 FEATURE PAVING | 27 STREETScape W./ TREE GRATE |
| 3 RAISED SEAT DECK | 8 ROOF TOP ORCHARD | 13 OUTDOOR KITCHEN | 18 CONCRETE STAIRS | 23 CUSTOM BENCH ELEMENT | 28 BIKE RACK |
| 4 WATER ELEMENT | 9 RUBBER SURFACING | 14 LOUNGE SEATING | 19 PRIVACY GATE | 24 CANTENARY LIGHTING | |
| 5 RESIDENT PATIOS | 10 SLOPED PLAY DECK | 15 SUN DECK / LOUNGE | 20 PLAY EQUIPMENT TBD | 25 BERMED PLANTING | |



5	Revised for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Revised for RZ/ DP	2022/04/05
2	Revised for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:
StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Plan

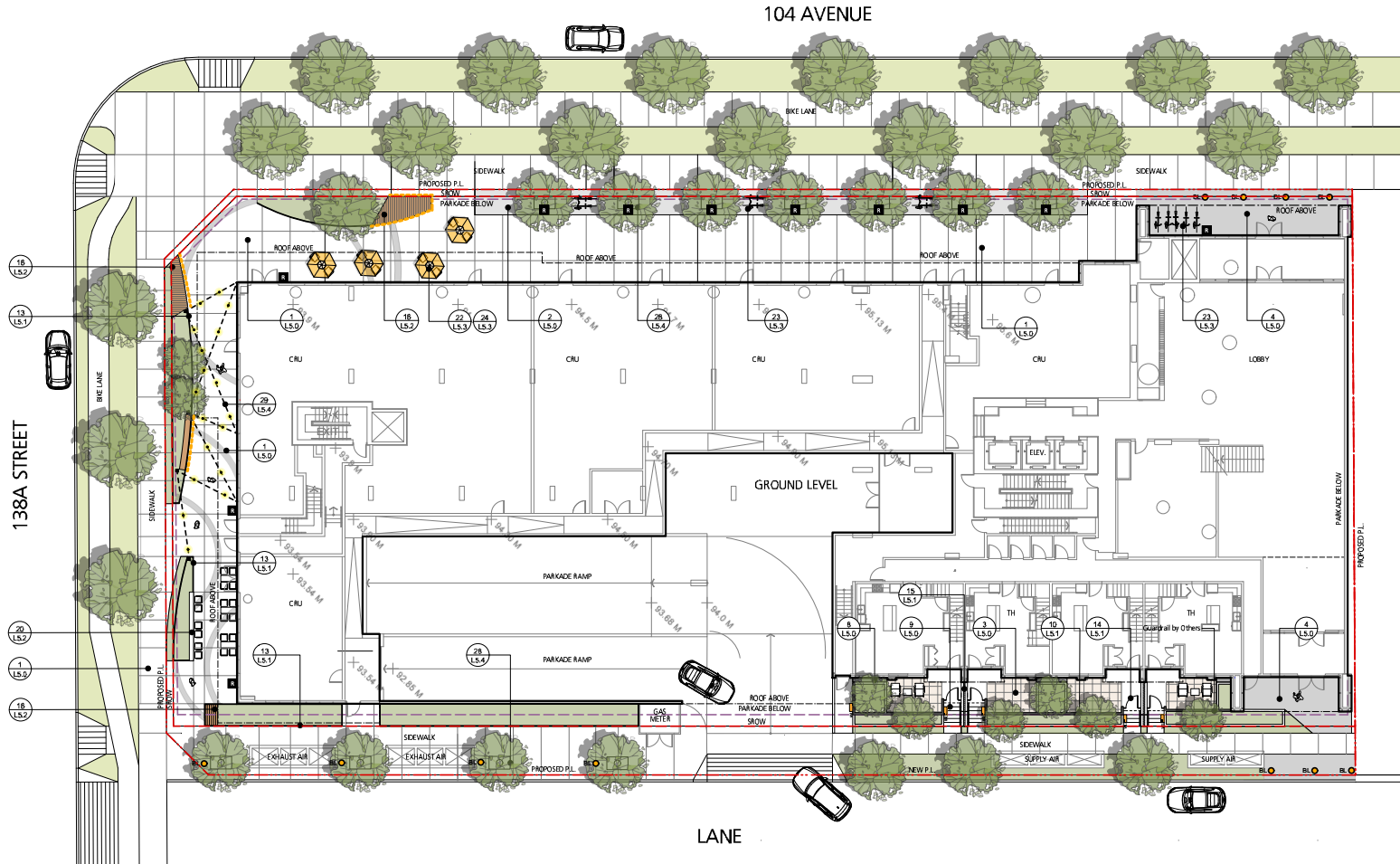
Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	20-055
Sheet No.:		

DETAIL KEY

- | | | | | | | |
|-----------|------------|------------|------------|------------|------------|------------|
| 1
LS.0 | 6
LS.9 | 11
LS.1 | 16
LS.7 | 21
LS.3 | 26
LS.3 | 31
LS.4 |
| 2
LS.0 | 7
LS.9 | 12
LS.1 | 17
LS.7 | 22
LS.3 | 27
LS.3 | 32
LS.4 |
| 3
LS.0 | 8
LS.9 | 13
LS.1 | 18
LS.7 | 23
LS.3 | 28
LS.3 | 33
LS.4 |
| 4
LS.0 | 9
LS.9 | 14
LS.1 | 19
LS.7 | 24
LS.3 | 29
LS.3 | 34
LS.4 |
| 5
LS.0 | 10
LS.9 | 15
LS.1 | 20
LS.7 | 25
LS.3 | 30
LS.4 | |

LIGHTING LEGEND

- | | | | |
|----|-------------------|-----|------------------------|
| BL | BOLLARD LIGHT | --- | LED STRIP LIGHT |
| W | WALL / STEP LIGHT | R | ELECTRICAL RECEPTACLE |
| ▲ | UP LIGHT | * | WATER FEATURE LIGHTING |
| ▼ | DOWN LIGHT | --- | CATENARY LIGHTING |



- | | | |
|---|---------------------|------------|
| 5 | Reissued for RZ/ DP | 2022/05/20 |
| 4 | Issued for ADP | 2022/04/12 |
| 3 | Reissued for RZ/ DP | 2022/04/05 |
| 2 | Reissued for RZ/ DP | 2022/02/25 |
| 1 | Issued for DP | 2021/09/17 |
| | Revision No. | Date |

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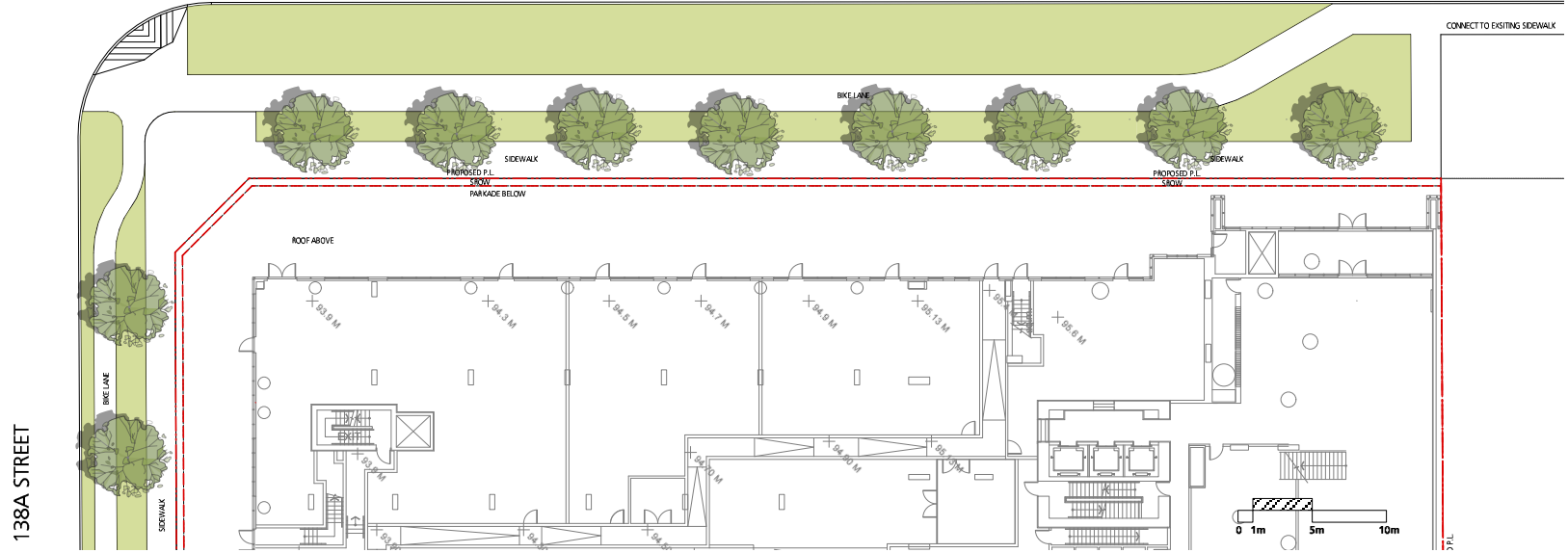
Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Layout Plan - Level 1

Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	20-055
Sheet No.:		



1 STREETScape INTERIM
 1:150



2 STREETScape ULTIMATE
 1:150

5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date


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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Streetscape Plan - Interim & Ultimate

Project North:  Drawn By: SJ
 Checked By: MP

Scale: 1:150 Job No.: 20-055

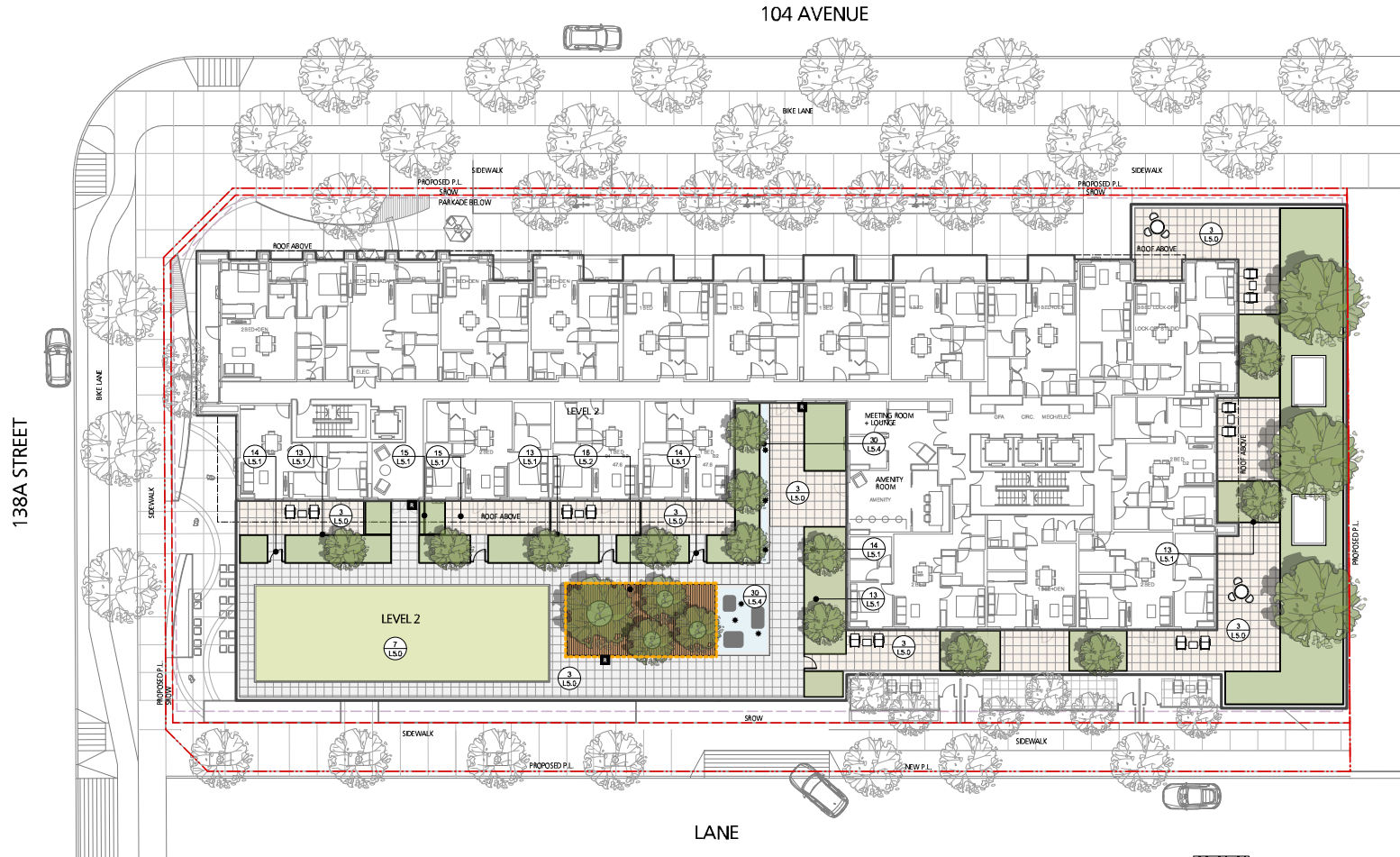
Sheet No.:

DETAIL KEY

1 L5.7	C.I.P. CONCRETE PAVING	8 L5.9	RUBBER SAFETY SURFACING	11 L5.7	MODULAR SEATING	16 L5.7	WOOD SEATING DECK	21 L5.3	LOUNGE CHAIR	26 L5.7	ROUND PLANTING POT	31 L5.4	TRELLIS / COVERED AREA
2 L5.9	PERMEABLE UNIT PAVING	7 L5.9	ROOF SYNLAWN	12 L5.7	GARDEN PLOT	17 L5.7	MODULAR STEEL PLANTER W/ WOOD SEATING ON TOP	22 L5.3	MOVEABLE TABLE AND CHAIR	27 L5.4	CHILDREN'S PLAY EQUIPMENT		
3 L5.9	HYDRAPRESSED SLAB	6 L5.9	GRAVEL STRIP	13 L5.7	PRE-FABRICATED METAL PLANTER	18 L5.7	GARDEN STORAGE BOX	23 L5.3	BIKE RACK	28 L5.4	TREE GRATE		
4 L5.9	BALSALT PAVING	9 L5.9	C.I.P. CONCRETE STAIRS	14 L5.7	CUSTOM ALUMINUM GATE	19 L5.7	HARVEST TABLE	24 L5.3	UMBRELLA	29 L5.4	CATENARY LIGHTING		
5 L5.7	GRANULAR SURFACING	10 L5.7	C.I.P. CONCRETE WALL	15 L5.7	PRIVACY SCREEN	20 L5.7	BAR SEATING	25 L5.3	OUTDOOR KITCHEN	30 L5.4	WATER FEATURE		

LIGHTING LEGEND

BL	BOLLARD LIGHT	---	LED STRIP LIGHT
W	WALL / STEP LIGHT	R	ELECTRICAL RECEPTACLE
U	UP LIGHT	*	WATER FEATURE LIGHTING
D	DOWN LIGHT	---	CATENARY LIGHTING



5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Layout Plan - Level 2

Project North:	Drawn By:	SJ
	Checked By:	JM
Scale:	Job No.:	20-055
Sheet No.:		

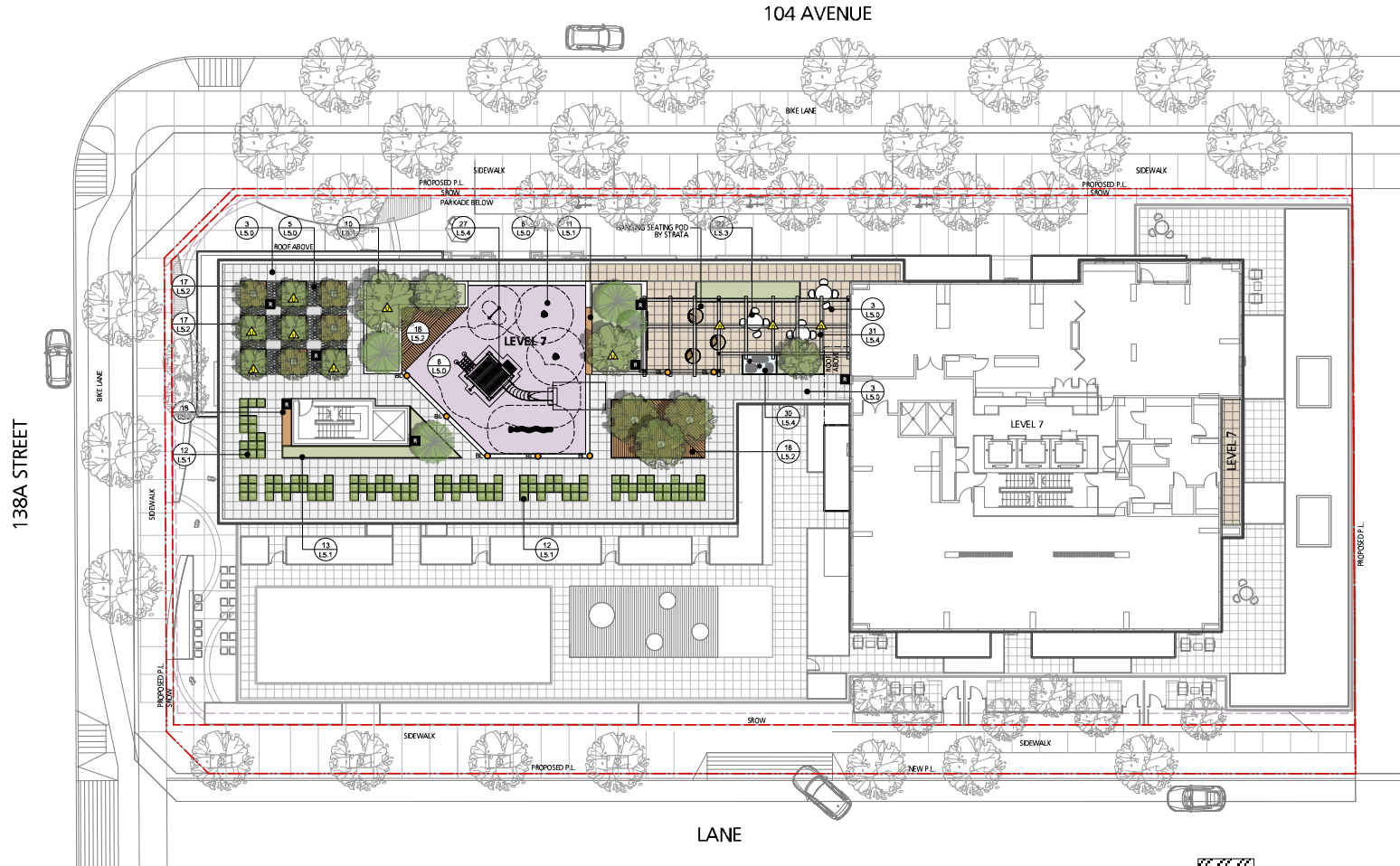
L1.3

DETAIL KEY

1 LS.3	C.I.P. CONCRETE PAVING	8 LS.9	RUBBER SAFETY SURFACING	11 LS.7	MODULAR SEATING	18 LS.2	WOOD SEATING DECK	24 LS.3	LOUNGE CHAIR	28 LS.3	ROUND PLANTING POT	31 LS.4	TRELLIS / COVERED AREA
2 LS.9	PERMEABLE UNIT PAVING	7 LS.9	ROOF SYNLAWN	12 LS.1	GARDEN PLOT	17 LS.3	MODULAR STEEL PLANTER W/ WOOD SEATING ON TOP	26 LS.3	MOVEABLE TABLE AND CHAIR	27 LS.4	CHILDREN'S PLAY EQUIPMENT		
3 LS.9	HYDRAPRESSED SLAB	6 LS.9	GRAVEL STRIP	13 LS.1	PRE-FABRICATED METAL PLANTER	16 LS.5	GARDEN STORAGE BOX	25 LS.3	BIKE RACK	28 LS.4	TREE GRATE		
4 LS.9	BALSALT PAVING	9 LS.9	C.I.P. CONCRETE STAIRS	14 LS.1	CUSTOM ALUMINUM GATE	19 LS.5	HARVEST TABLE	24 LS.3	UMBRELLA	29 LS.4	CATENARY LIGHTING		
5 LS.7	GRANULAR SURFACING	10 LS.1	C.I.P. CONCRETE WALL	15 LS.7	PRIVACY SCREEN	20 LS.2	BAR SEATING	26 LS.3	OUTDOOR KITCHEN	30 LS.4	WATER FEATURE		

LIGHTING LEGEND

BL	BOLLARD LIGHT	---	LED STRIP LIGHT
W	WALL / STEP LIGHT	□	ELECTRICAL RECEPTACLE
▲	UP LIGHT	*	WATER FEATURE LIGHTING
▼	DOWN LIGHT	- - -	CATENARY LIGHTING



5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Issued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:

Mixed-used Residential and Commercial Retail Development

Drawing Title:

Landscape Layout Plan - Level 7

Project North:



Drawn By:

SJ

Checked By:

JM

Scale:

Job No.:

20-055

Sheet No.:

L1.4

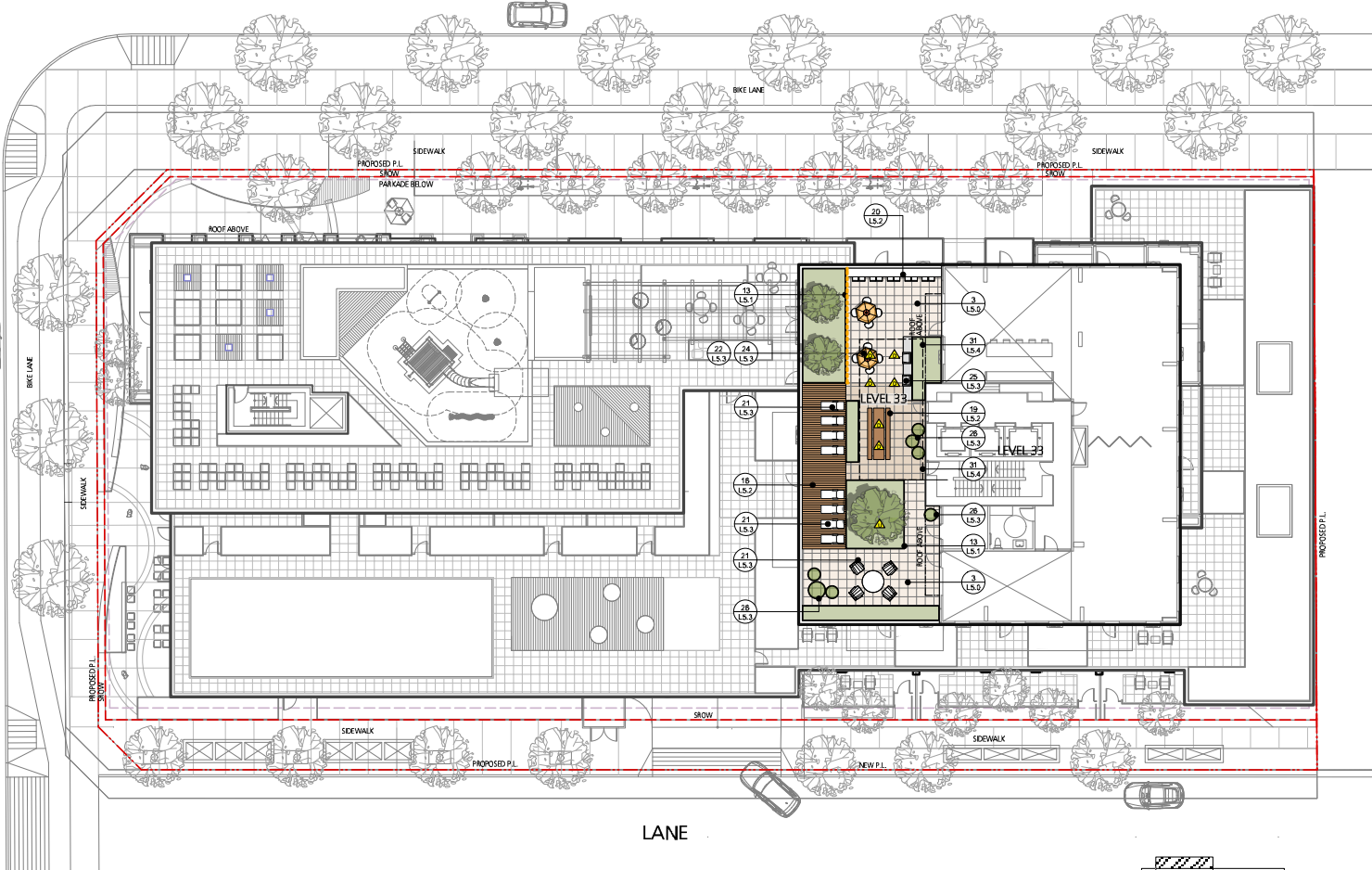
DETAIL KEY

LIGHTING LEGEND

138A STREET

104 AVENUE

LANE



5 Reissued for RZ/ DP	2022/05/20
4 Issued for ADP	2022/04/12
3 Reissued for RZ/ DP	2022/04/05
2 Reissued for RZ/ DP	2022/02/25
1 Issued for DP	2021/09/17
Revision No.	Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Layout Plan - Level 33

Project North:	Drawn By: SJ
	Checked By: JM
Scale:	Job No.:
1:150	20-055
Sheet No.:	

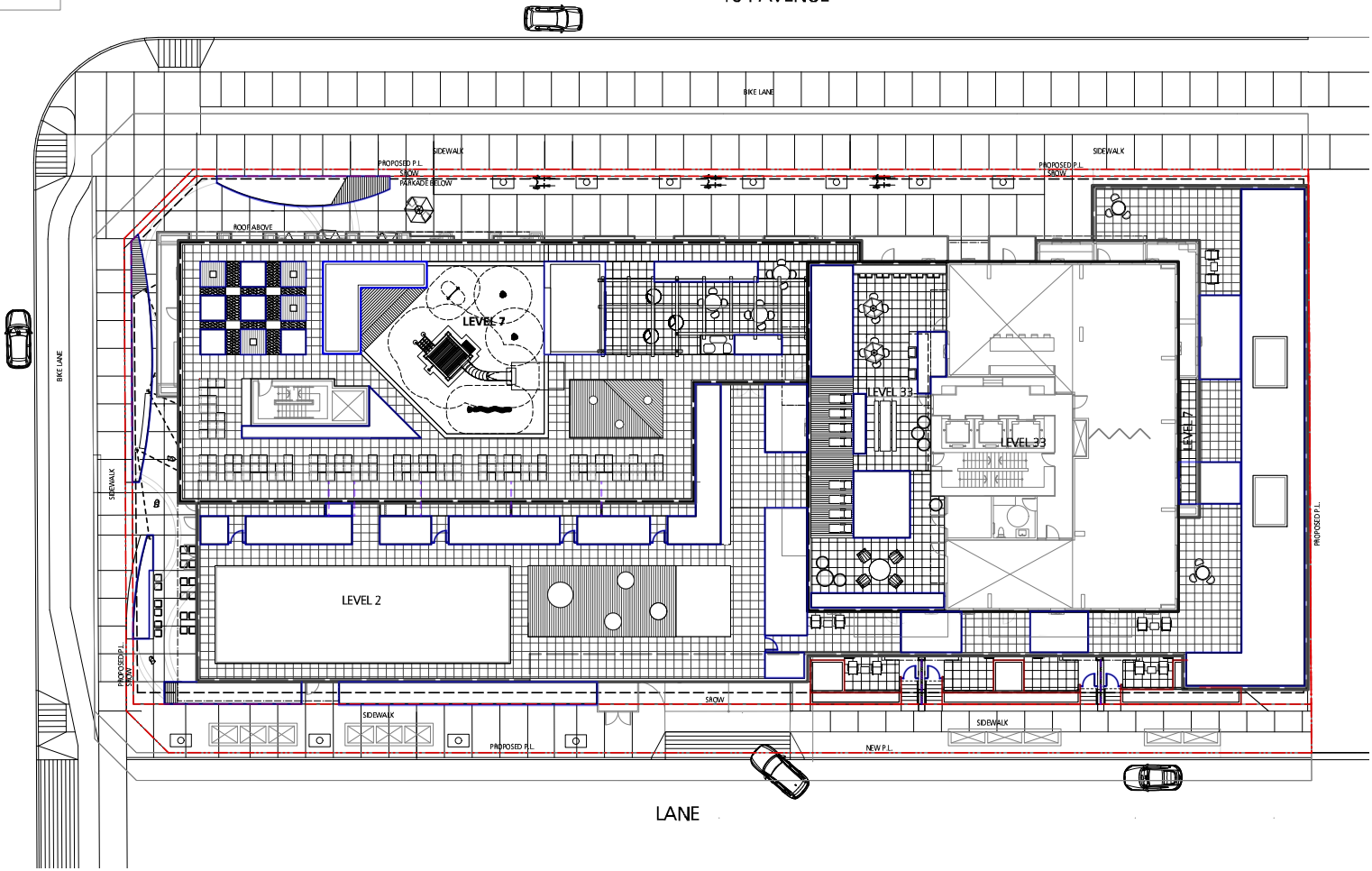
L1.5

FENCING LEGEND

- GUARDRAIL BY ARCH
- METAL PLANTER WALL 2' HT. MAX.
- CONC. PLANTER WALL 2' HT. MAX.
- PRIVACY SCREEN 6' HT.
- PRIVACY GATE
- - - LANDSCAPE GUARDRAIL 42" HT.

104 AVENUE

138A STREET



5	Reissued for RZ/DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/DP	2022/04/05
2	Reissued for RZ/DP	2022/02/25
1	Issued for DP	2021/09/17
Revision No.		Date

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Client: **StreetSide Development (BC) Ltd.**

Project Title: **Mixed-used Residential and Commercial Retail Development**

Drawing Title: **Landscape Fencing Plan**

Project North:	Drawn By:	SI
	Checked By:	MP
Scale:	Job No.:	20-055
	Sheet No.:	



DRAIN TYPE LEGEND

- RFD ROOF DRAIN
- FD PLANTER DRAIN w/ CLEAN OUT
- SD DRAIN TO SANITARY
- AD2 2 LEVEL AREA DRAIN
- AD1 1 LEVEL AREA DRAIN
- LB LAWN BASIN
- WFD WATER FEATURE DRAIN - REFER TO WF MECH
- PERFORATED PIPE - CONNECT TO STORM
- TRENCH DRAIN

GRADING LEGEND

- FFE +00.00 FINISH FLOOR ELEVATION
- +FG 00.00 FINISH GRADE ELEVATION
- +TS 00.00 TOP OF STAIRS ELEVATION
- +BS 00.00 BOTTOM OF STAIRS ELEVATION
- +TW 00.00 TOP OF WALL ELEVATION
- +BW 00.00 BOTTOM OF WALL ELEVATION
- +CML 00.00 CIVIL FINISH GRADE ELEVATION
- +EX 00.00 EXISTING SURVEY ELEVATION
- +RM 00.00 RM ELEVATION FOR DRAINS

GRADING NOTES

1. REFER TO OTHER AREAS FOR AREA DRAINS
2. ALL PLANTING BEDS OVER SLAB ARE TO BE LIGHTLY COMPACTED PRIOR TO INSTALLATION OF PLANTING MOUND PLANTERS SLIGHTLY (50MM) IN CENTER. MAXIMUM SLOPE IS 3:1
3. REFER TO STRUCTURAL FOR MAXIMUM ALLOWABLE BUILDING / FINISHING OVER SLAB
4. CONTRACTOR TO COVER ALL EXPOSED WALL / SLAB WATERPROOFING WITH FLASHING PAINTED TO MATCH HANDWORK AND METAL WORK
5. CONTRACTOR IS RESPONSIBLE TO REVIEW ALL CONSULTANT DRAWINGS
6. CONTRACTOR TO ADVISE CONSULTANT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ON-SITE CONDITIONS
7. ALL EXISTING UTILITY COVERS ARE TO BE ADJUSTED TO THE FINAL GRADE

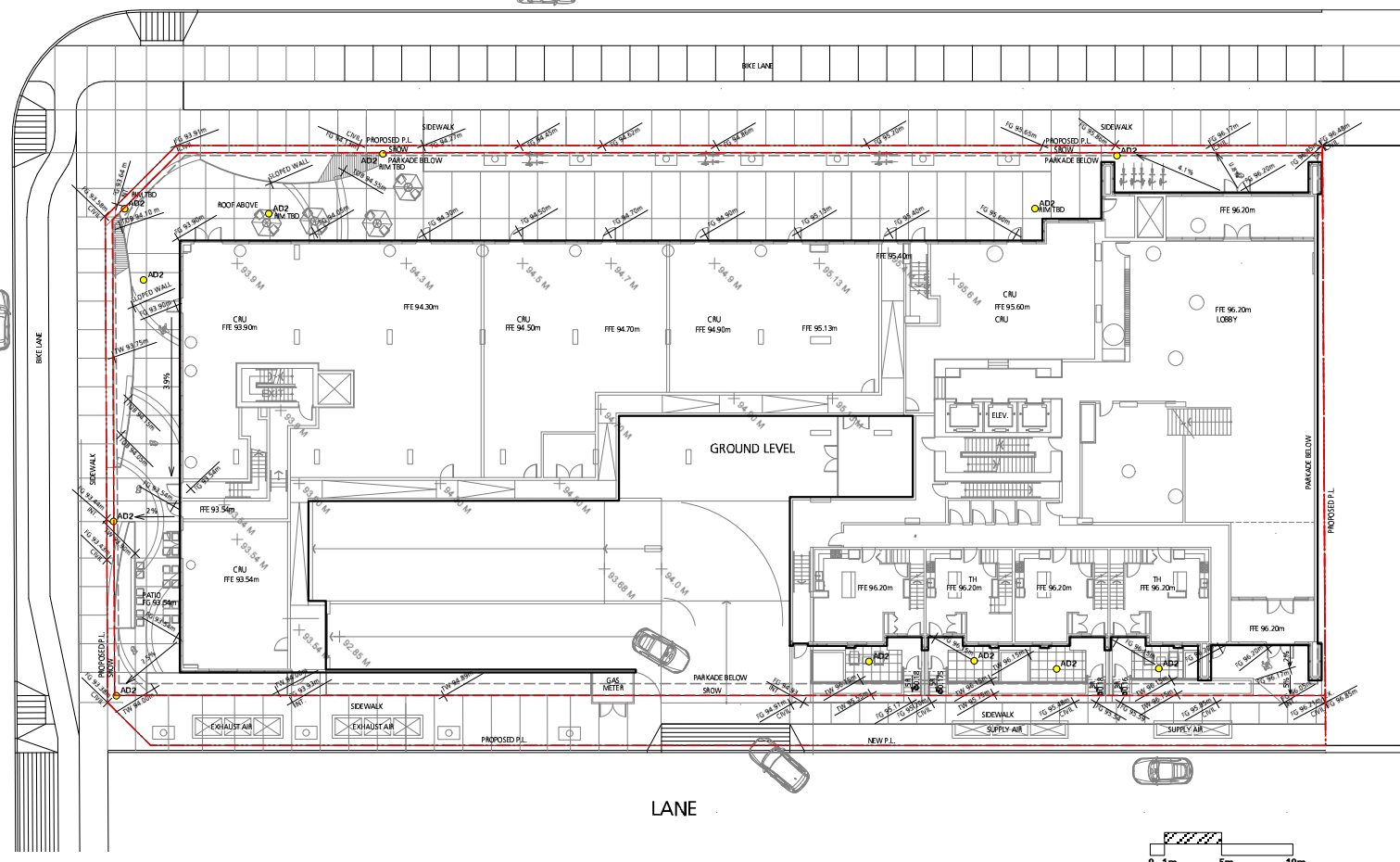
PAVING AT DRAINS:

- AREA DRAIN SPECIFICATIONS PER MECHANICAL
- PAVERS CUT FLUSH AGAINST DRAIN
- MAX 1/16" (1.59MM) GAP BETWEEN PAVEMENT AND DRAIN FRAME
- NO PARTIAL CUT BRICKS ACCEPTED
- REFER INSULATION FOR VOIDING WHERE REQUIRED. SEE STRUCTURAL

104 AVENUE

138A STREET

LANE



5	Reissued for RZ/ DP	2022/05/20
4	Issued for AD	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

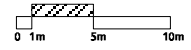
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Client: **StreetSide Development (BC) Ltd.**

Project Title: **Mixed-used Residential and Commercial Retail Development**

Drawing Title: **Landscape Grading Plan**

Project North:	Drawn By:	SJ
	Checked By:	JM
Scale:	Job No.:	20-055
Sheet No.:		



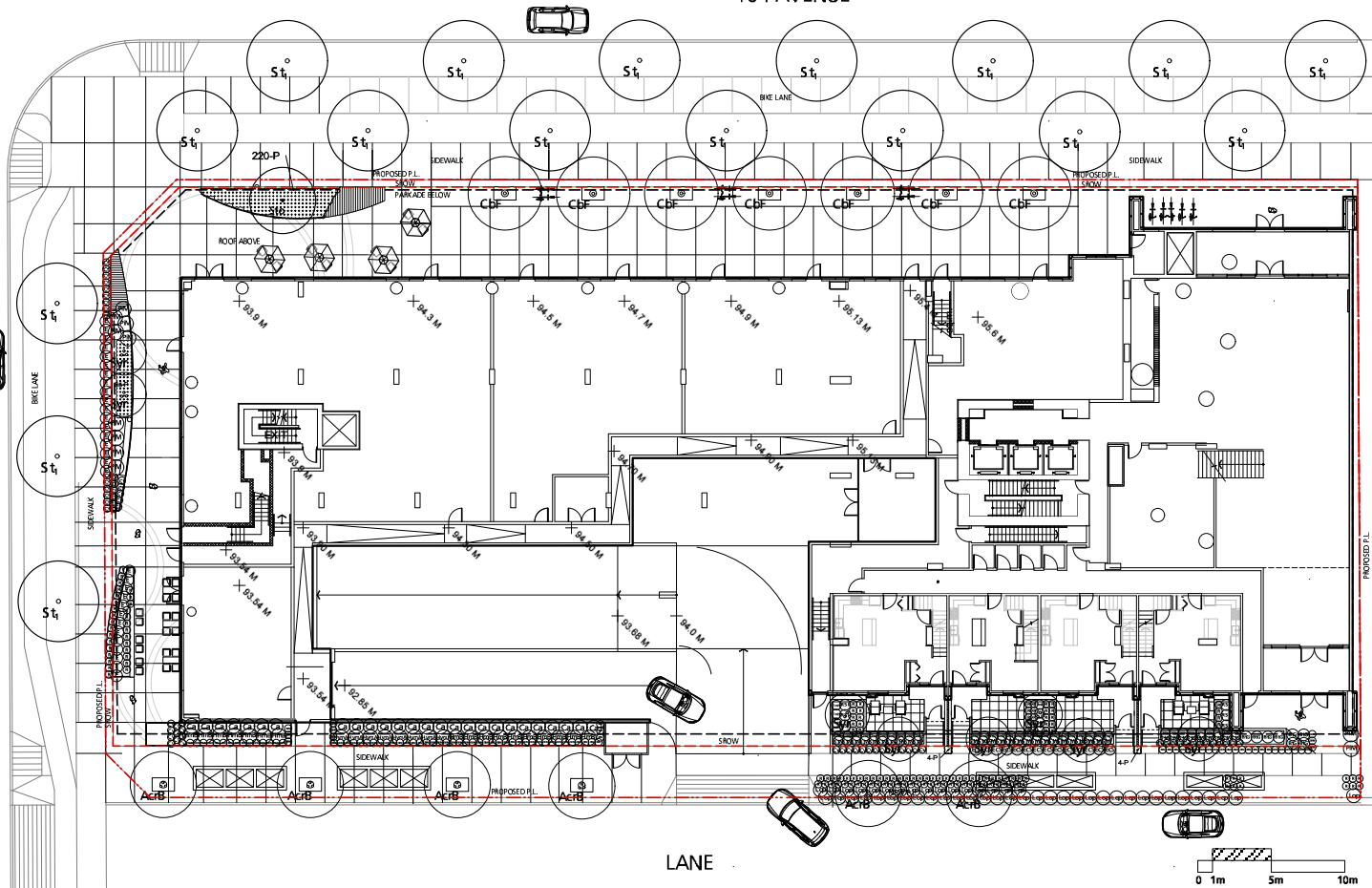
L2.0

PLANTING NOTES

- 1) Offsite Tree Species selection to be confirmed by Sunny Park Board. Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches deep. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion.
- 2) All planting and landscape installation to meet or exceed the BCSA/BCUIC - CUA landscape standards.
- 3) As a minimal acceptable standard:
 - a) Sites on the plant list shall be considered minimum sizes
 - b) Root balls to be free of pernicious weeds
- 4) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus. Sudden oak death removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- 5) All plant material shall be approved at the nursery by the project landscape architect.
- 6) The contractor shall supply all plant materials shown on all drawings.
- 7) No container grown stock will be accepted if it is not balled. All root wounding/essential masks of synthetics or plastics shall be removed at time of planting.
- 8) Container grown stock shall have the container removed and the rootball be clearly spaced in two vertical locations.
- 9) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall install soil testing logs to submit results directly to the consultant for approval prior to commencement of work. Generic analysis is not acceptable.
- 10) Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to be prior to planting.
- 11) The contractor shall locate and verify the existence of all utilities prior to starting work.
- 12) All planting beds to have min 50mm depth of 75mm minus screened composted bark mulch (not on groundcover areas).
- 13) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- 14) The landscape contractor shall refer to the contract specifications for additional requirements.
- 15) All sod to be unretted and grown on sand.
- 16) Plant Search area to include BC, WA, DR & CA.
- 17) Imported growing medium to be free from all mushroom/fungi growth.
- 18) Ensure 300mm depth soil in all shrub zones.
- 19) Contractor is responsible to obtain and be familiar with the relevant project specifications.

138A STREET

104 AVENUE



Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Ac	5	Acer dirodatum	Wine Maple	2.5m H, 88L, max 3 stems	
Ac	1	Acer arifolium	Paperbark Maple	5cm cal. WR	
Ac	2	Acer palmatum	Japanese Maple	6cm cal., 2.5m H, WR	
AcB	6	Acer rubrum 'Newport'	Redbark Red Maple	5cm cal. WR	
CB	7	Carpinus betulus 'Fastigiata'	European Hornbeam	5cm cal. WR	
M	6	Malus sp.	Malus	4cm cal. WR	
Pr	8	Prunus sp.	Prunus	4cm cal. WR	Downst Roof Stock P-22, M-17 or M-9
St	5	Stewartia monadelpa	Japanese Stewartia	5cm cal. WR	Self-fertile
St	11	Stewartia pseudocamellia	Japanese Stewartia	5cm cal. WR	
Sf	1	Street Tree 1	IBC - Species Approval by City of Surrey		
Sf	1	Syrax obsidia	Fraserit Syrax	5cm cal.	
Shrubs					
AB	10	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4m H, WR	Multistem
BR	50	Berberis thunbergii 'Century'	Royal Burgundy Barberry	#2, #24	
CV	60	Geonanthus thyrsiflorus 'Violeta'	Violeta Lily	#2, #24	
Co	8	Cornus stolonifera	Red Osier Dogwood	#2, #24	
E	40	Euonymus fortunei 'Emerald n Gold'	Spreading and Solid Wintercreeper	#2, #24	'narrow' habit for 'spreading'
HVA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#2, #24	
HVA	2	Hydrangea macrophylla 'Amethyst'	Amethyst Hydrangea	#2, #24	
HVA	2	Hydrangea macrophylla 'Blue Bird'	Blue Bird Hydrangea	#2, #24	
HVA	2	Hydrangea paniculata 'Limbo'	Limbo Panicle Hydrangea	#2, #24	
Lo	2	Lonicera caerulea	Common Honeysuckle	#2, #24	
M	11	Morus nigra	Moroccan Fig	#2, #24	
M	7	Morus nigra 'Syracensis'	Black Moravian Laurel	#2, #24	
Pr	54	Prunus laurocerasus 'Reynaudii'	Russian Laurel	#2, #24	
R	10	Rhododendron 'PJM Nordman'	Barberry	#2, #24	

RSL	6	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 not
SW	48	Saxifraga japonica 'Walburna'	Moss Carpet Saxifrage	#3 not
SW	131	Saxifraga pseudocamellia	Winter Gem Saxifrage	#2 not
SW	11	Saxifraga rotundifolia	Winter Gem Saxifrage	#2 not
TH	1	Taxus x media 'Hicksii'	Yew Hedge	1.8m H, 58L
Groundcovers, Vines, Ferns, Perennials and Grasses				
A	15	Allium polyneum	Giant Allium Onion	#1 not
A	50	Arundo donax 'Foliaris'	Arundo Donax	#1 not
Cl	7	Carex flaga	Blue-Crested Sedge	#1 not
Cl	2	Carex acutiformis	Sedge	#1 not
Cl	3	Cyperus setosus	Wetland Cyperus	#1 not
CS	36	Chamaecyparis 'Silver Queen'	Vertical Japanese Cypress	#1 not
H	86	Hemerocallis maxima 'AI Gold'	All Gold Japanese Lotus	#1 not
HMS	147	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1 not
IA	5	Impatiens 'Mandarin'	Orange Mandarin Impatiens	#1 not
I	11	Iris sibirica 'Ruffled Velvet'	Siberian Iris	#1 not
I	173	Iris sibirica 'Aurora'	Siberian Iris	#1 not
P	415	Pachysandra terminalis	Japanese Sedge	#1 not
Pm	43	Pennisetum purpureum	Western Sweet Fern	#1 not
R	16	Rumex crispus	Wormwood	#2 not
R	154	Rubus coccineus	Red-flowered Rubus	#1 not
R	2	Rubus idaeus	Raspberry	#1 not
StE	1	Stachys recta 'East Friesland'	Beacon Sage	#1 not
Total	3193			

5	Issued for RZ/DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Issued for ADP	2022/04/05
2	Revised for RZ/DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Planting Plan Ground Level

Project North: Drawn By: SJ

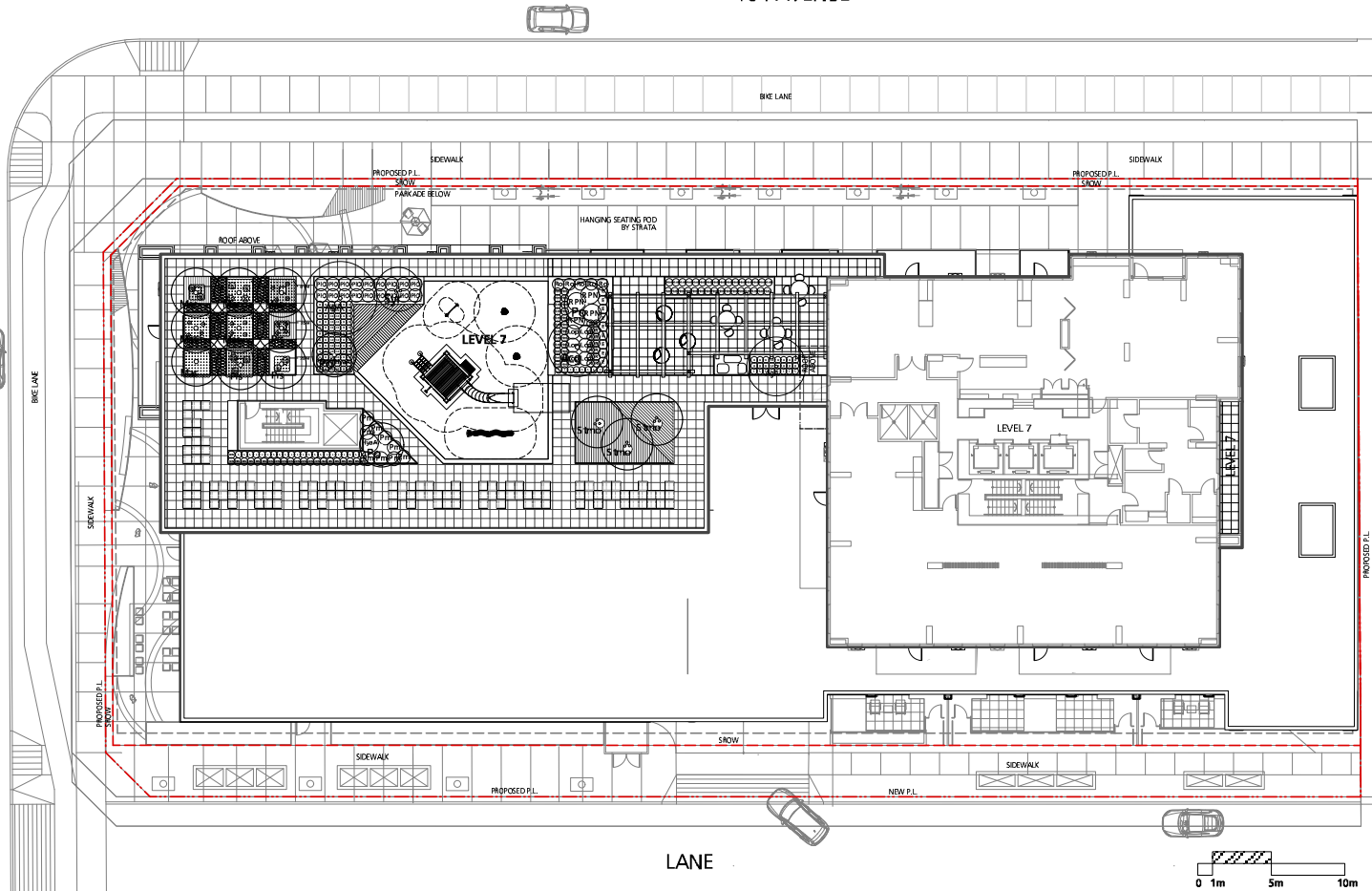
Scale: 1:150 Job No.: 20-055

Sheet No.: Checked By: JM

L3.0

104 AVENUE

138A STREET



Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Acc	5	Acer dirodatum	Wine Maple	2.5m ht., 888, max. 3 stems	
Acc	1	Acer oriseum	Paperbark Maple	5cm cal., WB	
Acc	2	Acer palmatum	Japanese Maple	6cm cal., 2.5m ht., WB	
Acc	6	Acer rubrum 'Semiwal'	Redstart Red Maple	5cm cal., WB	
CPZ	7	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	8cm cal., WB	
Wb	8	Malus sp.	Dwarf Apple Tree	5cm cal., 888	Dwarf! Roof Stock P-22, M-17 or M-9
Wb	8	Picea amurica	Serbian Spruce	5m, 888	
Prs	1	Prunus sp.	Dwarf Cherry Tree	4cm cal., 888	Self-fruit
Smo	3	Stewartia monadelpa	Sail Stewartia	5cm cal.	
Shv	1	Stewartia sinawartia	Japanese Stewartia	6cm cal., WB	
St	11	Street Tree 1	Street Tree 1	5cm cal.	IBC - Species Approval by City of Surrey
St	1	Shrax obsidia	Fraxinet Shrax	5cm cal.	
Shrubs					
Asa	10	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4m ht., WB	4m ht., WB, MJ1stem
BRG	50	Berberis thunbergii 'Gentry'	Royal Burgandy Barberry	#3 pot	
CVU	60	Ceanothus thyrsiflorus 'Violeta'	Violeta Lilac	#3 pot	
Coz	8	Cornus stolonifera	Red Oaler Dogwood	#3 pot	"native" habitat
E	40	Euonymus fortunei 'Emerald n' Gold'	Ground and Spide Wintergreen	#3 pot	"various" cost
HVA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#3 pot	
HVA	2	Hydrangea macrophylla 'Amethyst'	Amethyst Hydrangea	#3 pot	
HVA	20	Hydrangea macrophylla 'Blue Bird'	Japanese Hydrangea	#3 pot	
HVA	6	Hydrangea paniculata 'Invicta'	Ladye Panicle Hydrangea	#3 pot	
Loz	7	Lonicera caerulea	Blue Honeysuckle	#3 pot	
Prn	11	Prunus mugo	Mountain Prn	#3 pot	
Rb	7	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
Rb	54	Prunus laurocerasus 'Reynaudii'	Russian Laurel	#3 pot	Hedge
Rb	10	Rhododendron 'PJM Northern Barberry'	PJM Northern Barberry Rhododendron	#3 pot	

BSL	6	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	
SW	48	Solraea japonica 'Walburna'	Magic Carpet Solraea	#3 pot	
SW	137	Stewartia pseudocamellia	Winter Green Camellia	#2 pot	
Sr	11	Sorbus reticulata	Japanese Lilac	1.8m ht., 888	
On H	53	Taxus x media 'Hickory'	Yew Hedge	5' ht.	
Groundcovers, Vines, Ferns, Perennials and Grasses					
A	16	Allium nigricatum	Giant Allium Onion	#1 pot/20	
Ar	2	Arundo donax	Arundo Reeds	#1 pot/20	
Coz	77	Corax flagra	Blue Creeping Sedum	#1 pot	
Coz	2	Cornus canadensis 'Surreal'	Sedum	#1 pot	
Coz	41	Coreopsis verticillata	Threadleaf Coreopsis	#1 pot	
Hs	3	Hesperis matronalis 'Silver Queen'	White-petalled Matronella	#2 pot	
H	86	Hibiscus mura	All-Season Japanese Foliage Shrub	#1 pot	
Hms	147	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1 pot	
HA	2	Hesperis matronalis	All-Season Moon Hosta	#1 pot	
HA	11	Hosta 'Blue Bird'	Blue Bird Hosta	#1 pot	
HA	173	Hosta 'Empress of Japan'	Empress of Japan Hosta	#1 pot	
HA	415	Hosta 'Empress of Japan'	Empress of Japan Hosta	#1 pot	
HA	43	Hosta 'Empress of Japan'	Empress of Japan Hosta	#1 pot	
Bo	16	Berberis thunbergii	Royal Burgandy Barberry	#2 pot	
R	154	Rubus chingii	Black-capped Rubus	#2 pot	
SBF	21	Saxifraga oppositifolia	Emmett Saxifrage	#1 pot	
Total	3193				

- 5 Released for RZ/DP 2022/05/20
 - 4 Issued for ADP 2022/04/12
 - 3 Released for RZ/DP 2022/04/05
 - 2 Released for RZ/DP 2022/02/25
 - 1 Issued for DP 2021/09/17
- Revision No. Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Planting Plan Level 7

Project North: Drawn By: SJ






Checked By: JM

Scale: 1:150 Job No.: 20-055

Sheet No.:

L3.2

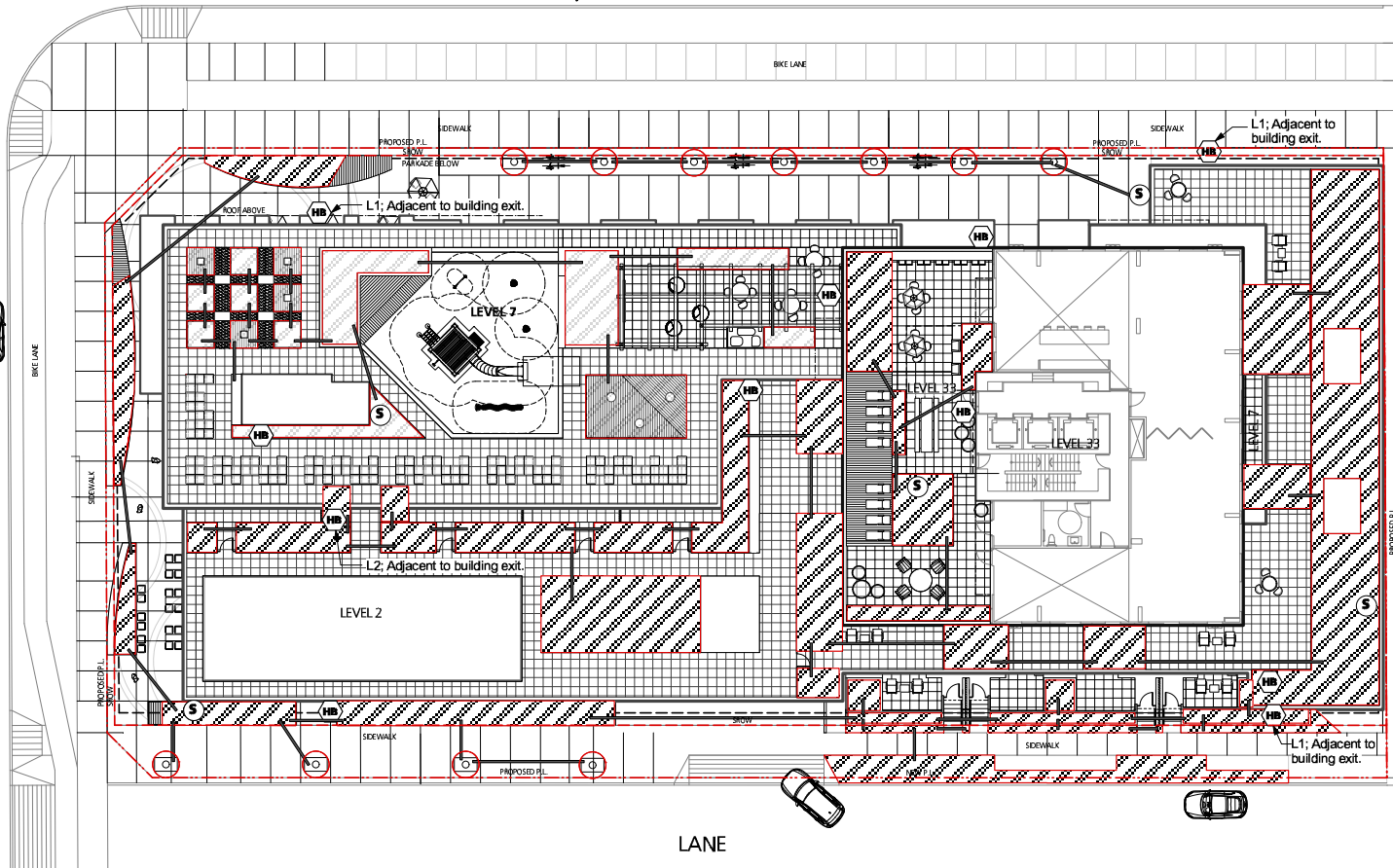
IRRIGATION LEGEND

-  SHRUB ZONE
Use Rainbird Sprayheads, Valves and Dripline,
See Notes
-  TREE WITH TREE GRATE
Provide Drip Loop for all Tree locations
-  SLEEVE LOCATION
2" Diameter Sleeve
-  STUBOUT LOCATION
1 1/2" ball valve & #3QC in 1419 box, 70 PSI @
35USGPM; Qty: 5
-  HOSE BIB
Qty: 11

138A STREET

104 AVENUE

LANE



5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:

**StreetSide
 Development
 (BC) Ltd.**

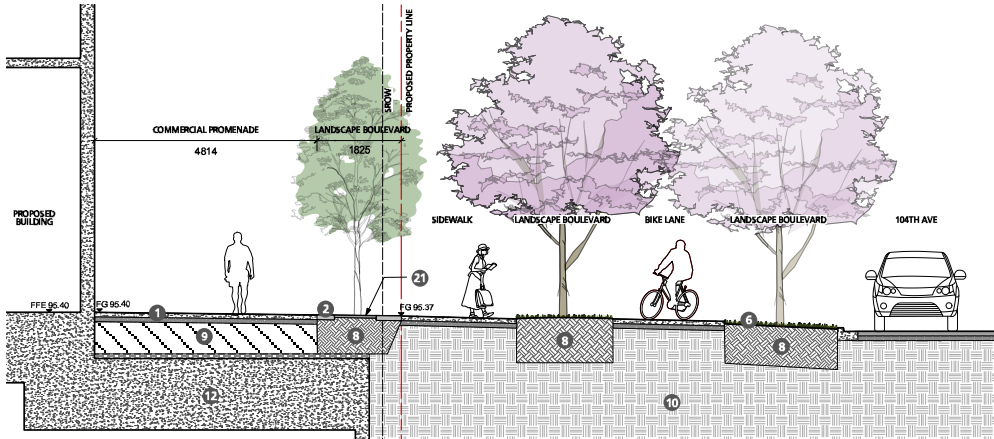
Project Title:

**Mixed-used
 Residential and
 Commercial Retail
 Development**

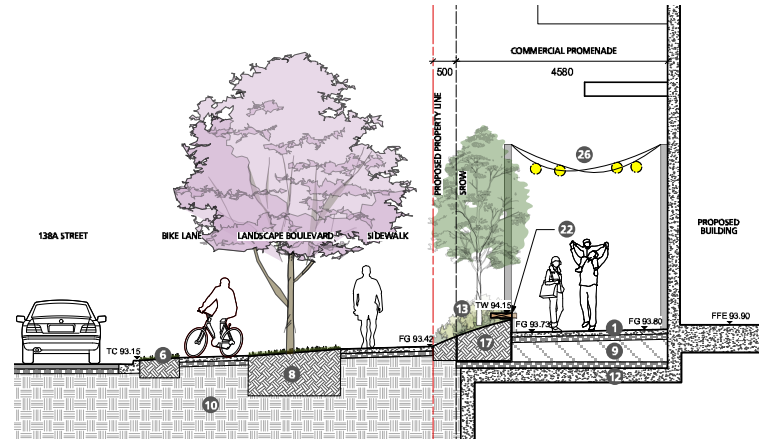
Drawing Title:
Landscape Irrigation Plan

Project North:	Drawn By:	SJ
	Checked By:	JM
Scale:	Job No.:	20-055
1:150	Sheet No.:	

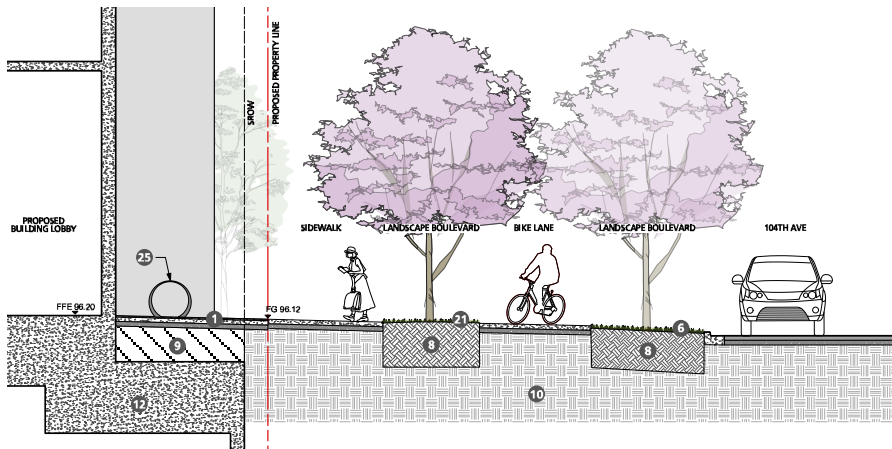
L3.4



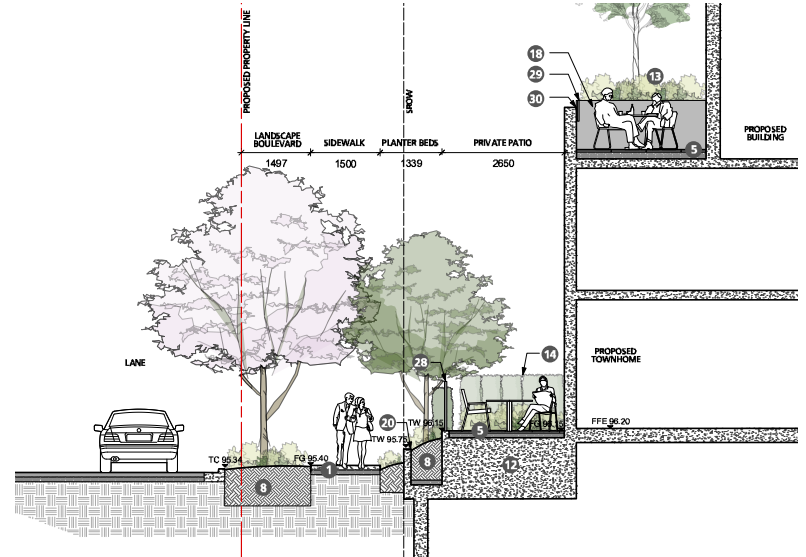
1 SECTION THROUGH 104TH AVE AND BUILDING
 1:50



2 SECTION THROUGH 138A STREET AND BUILDING
 1:50



3 SECTION THROUGH NORTH LOBBY TO 104 AVE
 1:50



4 SECTION THROUGH LANE AND TOWNHOMES
 1:50

KEY

- | | | | | | |
|--------------------------------------|-----------------------------------|--|--|---|-------------------------|
| 1 C/P CONCRETE PAVING | 6 LAWN | 11 EXHAUST AIR SHAFT BEHIND BUILDING SLAB REFER TO ARCHS | 16 PLANTED AREA TO MAKE THE MAX PATHWAY SLOPE <5% | 21 TREE GRATE | 26 CATENARY LIGHTING |
| 2 PERMEABLE PAVING | 7 GROWING MEDIUM MIN. 400 DEPTH | 12 SHRUB PLANTING | 17 METAL PLANTER W/ MIN 600MM DEPTH GROWING MEDIUM | 22 CUSTOM WOOD SEATING, CUSTOM SEATING BEHIND, 18" HEIGHT | 27 BOLLARD LIGHT |
| 3 BASALT PAVING | 8 GROWING MEDIUM MIN. 900mm DEPTH | 13 HEDGE | 18 METAL PLANTER 1070MM HT. | 23 BAR SEATING | 28 GUARDRAIL |
| 4 BASALT FEATURE PAVING MAX SLOPE 5% | 9 LANDSCAPE VOIDING | 14 LOW/RAISED PLANTER TO MAKE THE MAX PATHWAY SLOPE <5% | 19 METAL PLANTER | 24 BIKE RACK | 29 GUARDRAIL 1070MM HT. |
| 5 UNIT PAVERS | 10 SUBGRADE | | 20 CONCRETE PLANTER WALL | 30 PARAPET WALL | |

- | | | |
|---|---------------------|------------|
| 5 | Issued for RZ/ DP | 2022/05/20 |
| 4 | Issued for ADP | 2022/04/12 |
| 3 | Reissued for RZ/ DP | 2022/04/05 |
| 2 | Reissued for RZ/ DP | 2022/02/25 |
| 1 | Issued for DP | 2021/09/17 |
| | Revision No. | Date |

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Client:

StreetSide Development (BC) Ltd.

Project Title:

Mix-used Residential and Commercial Retail Development

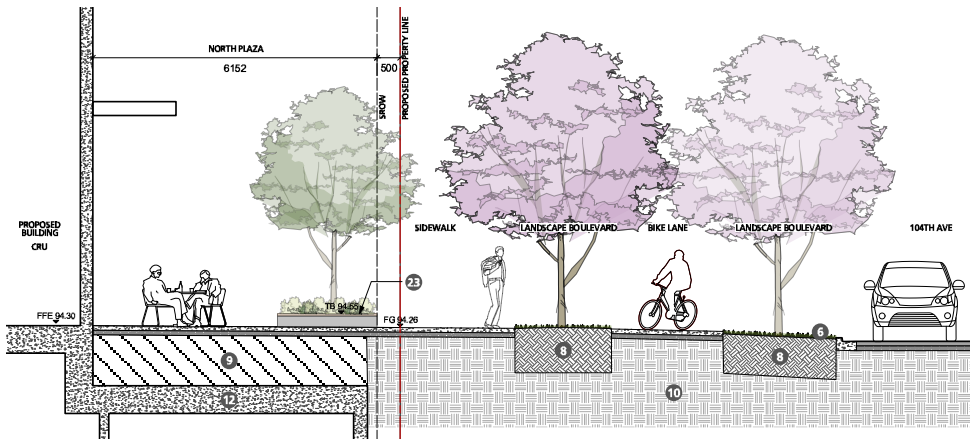
Drawing Title:
Landscape Sections

Project North: Drawn By: SJ

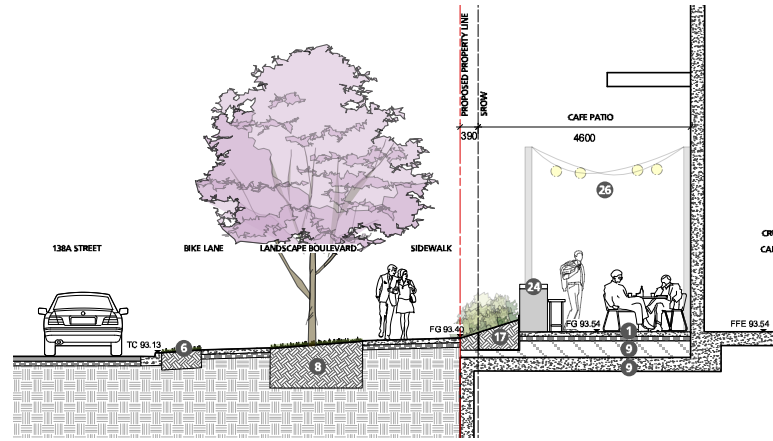
Checked By: JM

Scale: Job No.: 20-055

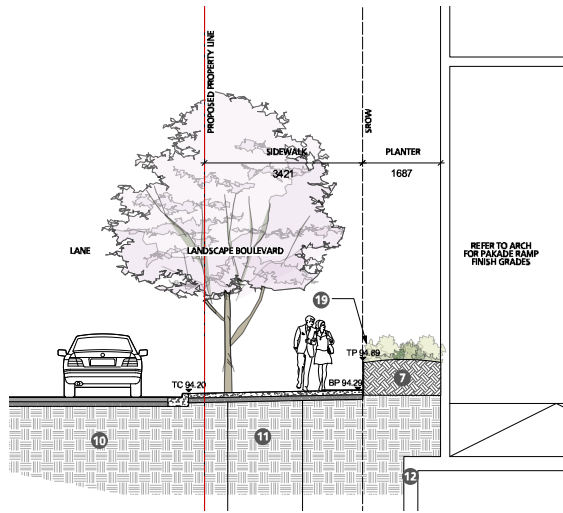
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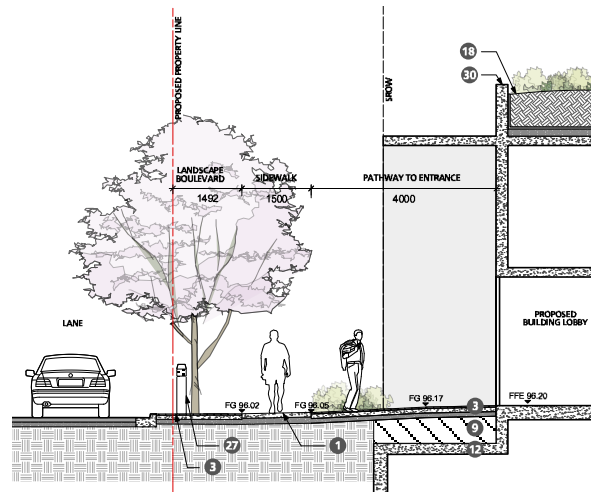
5 SECTION THROUGH 104 AVE AND NORTH PLAZA
 1:50



6 SECTION THROUGH 138A STREET AND CAFE PATIO
 1:50



7 SECTION THROUGH LANE TO THE PARKADE RAMP
 1:50



8 SECTION THROUGH SOUTH LOBBY TO LANE
 1:50



9 ELEVATION FOR SOUTH LOBBY ENTRANCE
 1:50

KEY

- | | | | | | |
|--------------------------------------|-----------------------------------|--|--|--------------------------------------|-------------------------|
| 1 C/P CONCRETE PAVING | 6 LAWN | 11 EXHAUST AIR SHAFT BEHIND BUILDING SLAB REFER TO ARCH | 16 PLANTED AREA TO MAKE THE MAX. PATHWAY SLOPE <5% | 21 TREE GRATE | 25 CATENARY LIGHTING |
| 2 PERMEABLE PAVING | 7 GROWING MEDIUM MIN. 400 DEPTH | 12 SHRUB PLANTING | 17 METAL PLANTER W/ MIN 600MM DEPTH GROWING MEDIUM | 22 CUSTOM WOOD SEATING | 27 BOLLARD LIGHT |
| 3 BASALT PAVING | 8 GROWING MEDIUM MIN. 900mm DEPTH | 13 HEDGE | 18 METAL PLANTER 1070MM HT. | 23 CUSTOM SEATING BEHIND, 18" HEIGHT | 28 GUARDRAIL |
| 4 BASALT FEATURE PAVING MAX SLOPE 5% | 9 LANDSCAPE VOIDING | 14 LOW/RAISED PLANTER TO MAKE THE MAX. PATHWAY SLOPE <5% | 19 METAL PLANTER | 24 BAR SEATING | 29 GUARDRAIL 1070MM HT. |
| 5 UNIT PAVERS | 10 SUBGRADE | 20 CONCRETE PLANTER WALL | 25 BIKE RACK | 30 PARAPET WALL | |

- | | |
|-----------------------|------------|
| 5 Issued for RZ/ DP | 2022/05/20 |
| 4 Issued for ADP | 2022/04/12 |
| 3 Released for RZ/ DP | 2022/04/05 |
| 2 Issued for RZ/ DP | 2022/02/25 |
| 1 Issued for DP | 2021/09/17 |
| Revision No. | Date |

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Client:

StreetSide Development (BC) Ltd.

Project Title:

Mix-used Residential and Commercial Retail Development

Drawing Title:
Landscape Sections

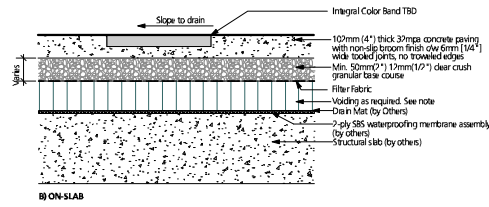
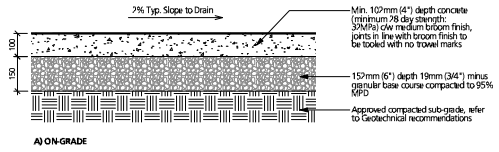
Project North: Drawn By: SJ

Checked By: JM

Scale: Job No.: 20-055

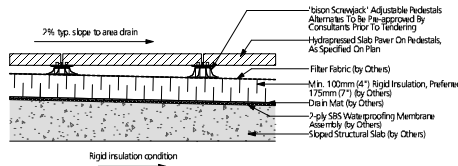
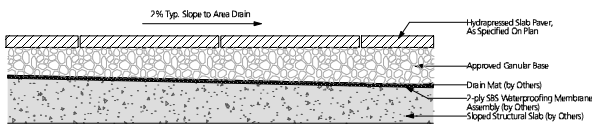
Sheet No.:

L4.1

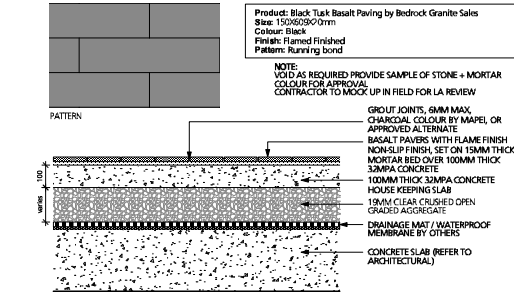


1 CIP Concrete Paving
1:10

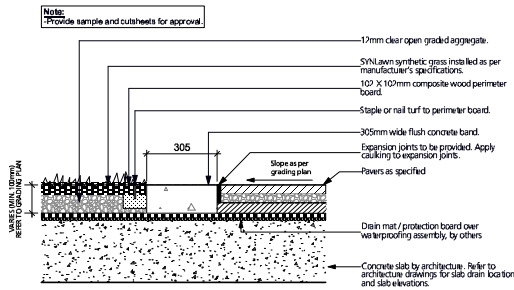
NOTE: Absorbford Concrete 'Hydrated Slab', Treads finish, MATCH PATTERN AS SHOWN, 610x106x50mm. Color: natural, Shadow & Charcoal



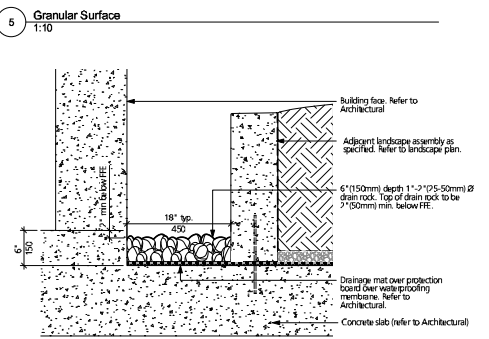
3 Hydrated Slab
1:10



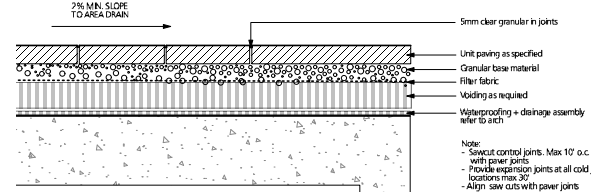
4 Basalt Feature Paving
1:10



7 Roof SYN Lawn
1:10

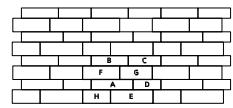


8 Granular Strip
1:10



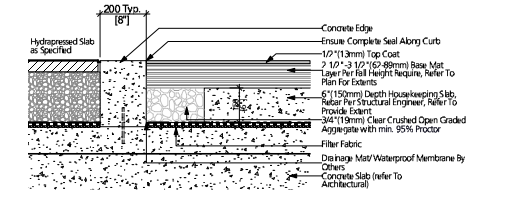
Note:
 - Sawcut control joints, Max 10' o.c. Aligned with paver joints.
 - Provide expansion joints at all cold joint locations max 30'.
 - Align saw cuts with paver joints.

Product: Permeable Paver
Size: See Chart
Colour: Charcoal
Pattern: Running bond
Supplier: Barkman



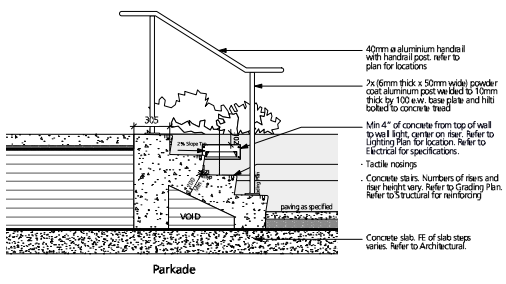
A	3 1/2" X 14 1/4"
B	3 1/2" X 12 5/8"
C	3 1/2" X 11 1/8"
D	3 1/2" X 9 1/2"
E	4 5/8" X 14 1/2"
F	4 5/8" X 12 5/8"
G	4 5/8" X 11 1/8"
H	4 5/8" X 9 1/2"

2 Permeable Unit Paving
As Shown



NOTE: TOP COATE LAYER TO BE POURED AS ONE CONSISTENT SURFACE WITH NO SEAMS IN EACH COLOUR FIELD

6 Rubber Safety Surfacing
1:10



9 CIP Concrete Stairs
1:20

- 5 Reissued for RZ/DP 2022/05/20
- 4 Issued for ADP 2022/04/12
- 3 Reissued for RZ/DP 2022/04/05
- 2 Reissued for RZ/DP 2022/02/25
- 1 Issued for DP 2021/09/17

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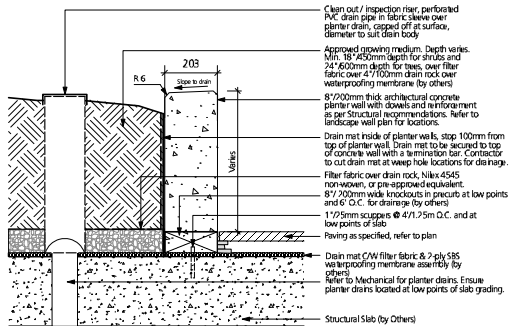
Client:

StreetSide Development (BC) Ltd.

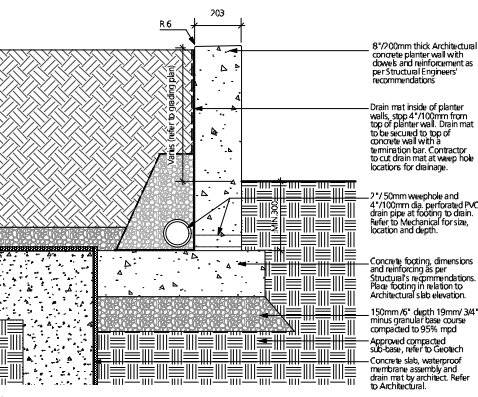
Project Title: **Mixed-used Residential and Commercial Retail Development**
 Drawing Title: **Landscape Details**

Project North: _____ Drawn By: **SJ**
 Checked By: **JM**
 Scale: **As Shown** Job No.: **20-055**
 Sheet No.:

Note:
Contractor to cover all exposed walls/risers waterproofing with flexing painted to match handrail and metal work.

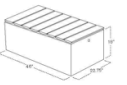


A) ON-SLAB



B) ON-GRADE

10 CIP Concrete Planter Wall
1:10

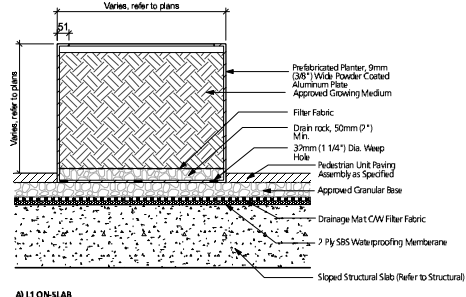


- JFF&B Jim Booth
491 L 50 75W 4 874
- Weight Info:
 Modular Anchor Filler
 Locking Stud
 Lighting
 Archival/Blackboard Cabinet
 Quantity
- Select Desired Color:
 Metallic Silver
 Bronze
 Smoke Steps
 Silver White
 Matte Black
 Matte Bronze
 Custom



Model: Modular Seating
Manufacturer: Green Theory
Colour: Matte Black
Material: Thermally Modified Timber & Welded Aluminum
Size: 47.7" D x 75" W x 18" H
Contact: www.greentheorydesign.com
Installation: Mount as per manufacturer's specifications
Quantity: 4

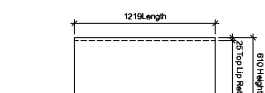
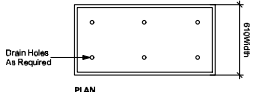
11 Modular Seating
NTS



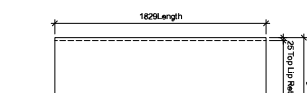
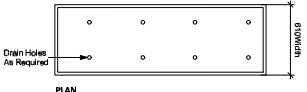
A) LI ON-SLAB

13 Prefabricated Metal Planter
1:10

Model: Modular Planters
Qty: Refer to Plan
Supplier: Planters Perfect or Approved Alternate
Contact: https://www.greentheorydesign.com
Colour: Metallic Silver or Approved Alternate
Note: - All planters to be modular with the ability to be bolted together on site with hidden hardware
 - Powder Coat all metal components
 - Provide cutwaters and stop drawings for all components for approval
 - Provide bracing as required. No bowing of planter walls accepted
 - Provide drain holes at the bottom of all components
 - Provide colour sample for approval

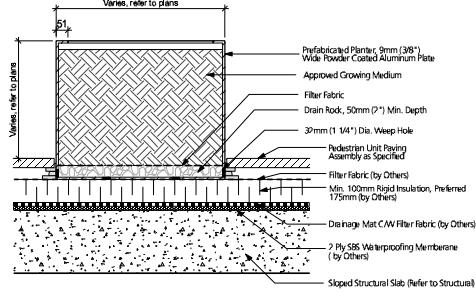


ELEVATION
TYPE A

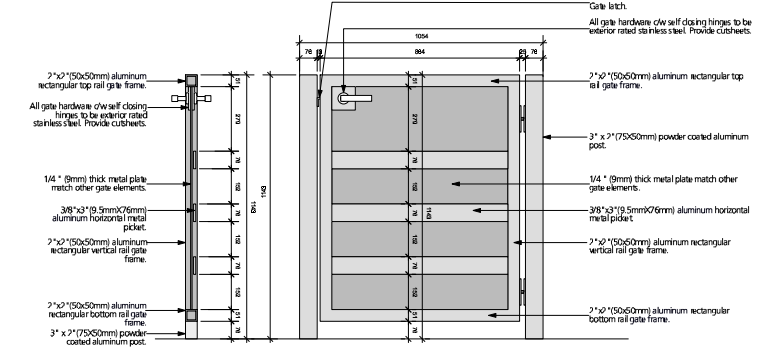


ELEVATION
TYPE B

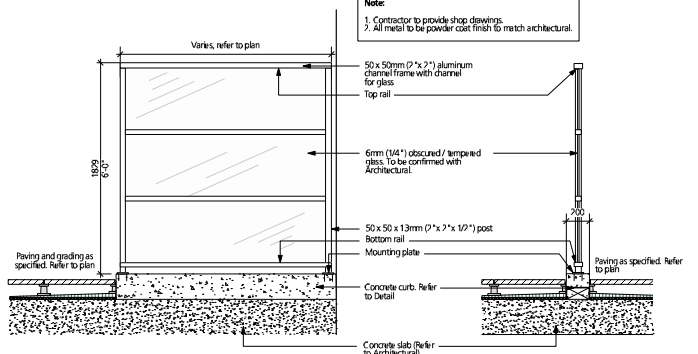
12 Garden Plot
1:20



B) L2, L3, L32 ON-SLAB



14 Custom Aluminum Gate
1:10



ELEVATION
15 Privacy Screen
1:20

5	Revised for RZ/DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Revised for RZ/DP	2022/04/05
2	Revised for RZ/DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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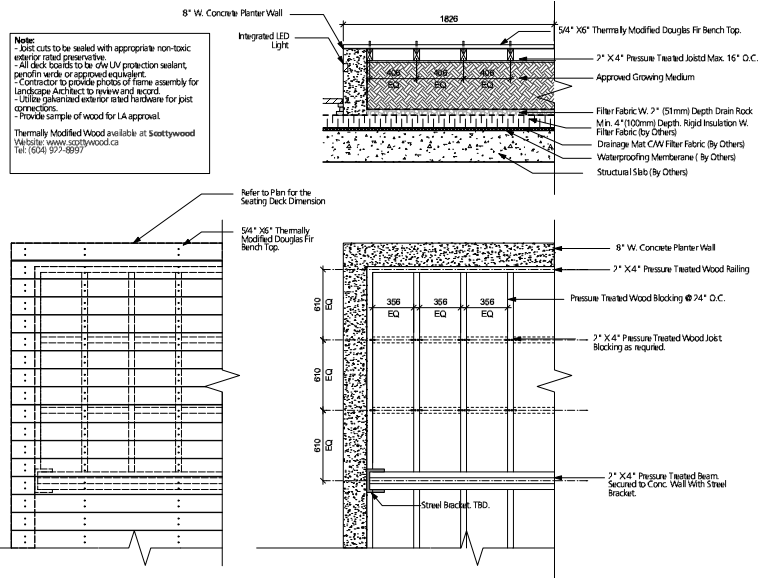
Client:

StreetSide Development (BC) Ltd.

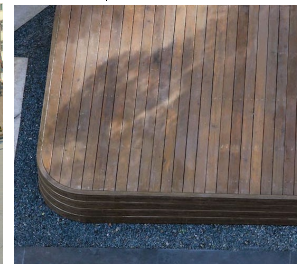
Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Details

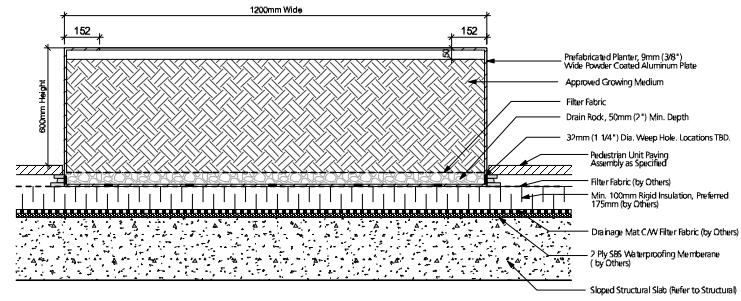
Project North:	Drawn By:	SJ
	Checked By:	JM
Scale:	Job No.:	20-055
Sheet No.:		



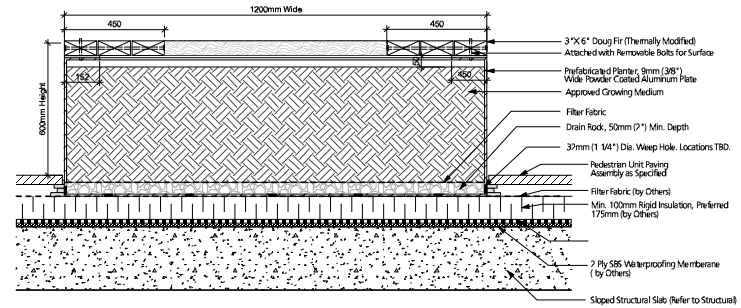
WOOD DECK TYPE A
PRECEDENT IMAGES



WOOD DECK TYPE B



A) 1200MM WIDE METAL TREE PLANTER



B) 1200MM WIDE METAL TREE PLANTER WITH WOOD TOPPING

17 Modular Steel Planter w/ Wood Seating on Top
NTS

5	Revised for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Revised for RZ/ DP	2022/04/05
2	Revised for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
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Client:

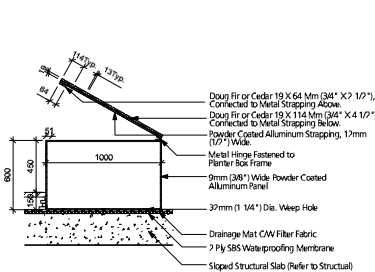
StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Details

Project North:	Drawn By:	SJ
	Checked By:	JM
Scale:	Job No.:	20-055
	As Shown	
Sheet No.:		

16 Wood Deck
1:20



18 Garden Storage Box
1:20

Model: Red Cedar Farmhouse Table
Manufacturer: the Great Canadian Picnic Table
Colour: Natural
Size: See plan for the size.
Contact: www.thegreatcanadianpicnic.com
Installation: Mount as per manufacturer's specifications
Quantity: 1



19 Harvest Table
NTS

20 Bar Seating
NTS



Model: Chipmen Stool
Manufacturer: Landscape Forms
Colour: Stormcloud
Material: Powdercoated Metal
Size: 19\"/>

Model: Go Outdoor Table
Manufacturer: landscape Forms
Colour: Stormcloud
Material: Powdercoated Metal
Size: Seating Height: 30\"/>



TIMBER TOWER 1

Intended user age: 5-12

PRODUCT INFORMATION

CSA Z614

The flexibility and customizability of the 1 Level Timber Tower makes it a versatile addition to any playground design. As an epic playground structure, the playground tower can be used alone, or as a connection to other playground equipment. The 1 Level Timber Tower introduces height and higher challenge climbing opportunities into the play area.

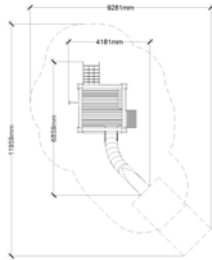


Maximum height: 6.46 m
Fall height: 2.91 m
Area of Safety Surfacing: Varies based on configuration

The highest designated play surface and space required are according to CSA Z614. A buffer is included in the fall zone to account for fabrication and material variations.

Resilient safety surfacing is required within the fall zone of equipment.

If you have questions about the equipment or require changes, please contact Earthscape at 1-877-269-2972.



SPICA 1

GV0914



The quirky shape, both its and change in design on section, with what it looks like. The Spica is at the center. It takes exploration to reach the top of the tower's spinning. The curved pole makes holding on and the child spins out the tower to the pole means intense spinning speed, leaning out means

slowing down speed. This will appeal and make it a fun on section, with what it looks like. The rotation element makes the cognitive skills of the child, in particular the fine motor. The agility, balance and coordination are emphasized on the Spica makes different body positions when spinning. The triangular

shape of the seat allows room for up to three children, stimulating the social skills of cooperation and turn taking.



Item no. GV091421-3717
General Product Information
Dimensions (mm): 170 x 170 x 377
Age Group: 5-12
Play Capacity: 1 child
Color Options:



Argo

GV0919



The Argo combines the best of social and physical play challenges. The combination of mobility allows visible assistant companionship around other children again and again. Children can sit, lie or stand on the Argo. Having balance and coordination are emphasized from side to side. When children stand or sit and rock from the Argo, they gain their balance

skills (especially) in the beam and beamage. It is a challenge to the motor skills of the child. The sense of balance is emphasized at other motor skills. It is important for managing the mental and physical training with friends. This structure grows in importance during the beam and beam period.

The wire mesh Argo supports the Argo to hang and together and then fun with physical challenges. Encourages active use of social interaction skills.

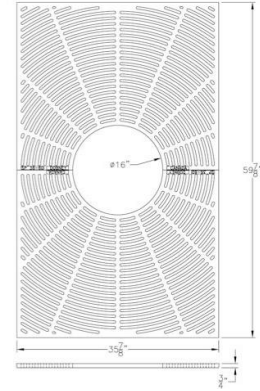
Item no. GV091913-3717
General Product Information
Dimensions (mm): 322x4x51 cm
Age group: 5+
Play capacity (seats): 2
Color options:



Date of automatic change without prior notice

1/6/10/21

Model: SP-96-60
Manufacturer: Dobney
Material: Ductile
Contact: http://dobbyfoundry.com
Installation: Mount as per manufacturer's specifications
Quantity: 10



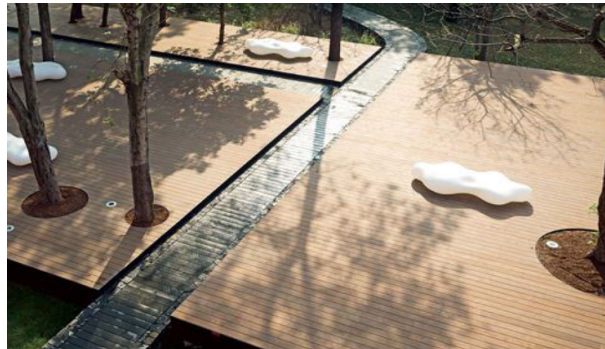
28 Tree Grate
1:50

27 Children's Play equipment
NTS



PRECEDENT IMAGE

29 Catenary Lighting
NTS



PRECEDENT IMAGE

30 Water Feature
NTS



PRECEDENT IMAGE

31 Trellis
NTS

5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
Revision No.		Date

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Client:

StreetSide Development (BC) Ltd.

Project Title:
Mixed-used Residential and Commercial Retail Development

Drawing Title:
Landscape Details

Project North: Drawn By: SJ

Checked By: JM

Scale: As Shown Job No.: 20-055

Sheet No.:

L5.4

STREETSIDE LANDSCAPE



C.I.P. Conc. Paving



Balsalt Feature Paving



Bike Racks

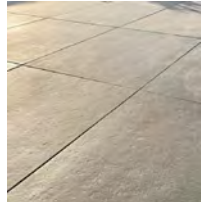


Catenary Lighting



Custom Wood Bench

LEVEL 2 AMENITY SPACE



Unit Paving



Water Feature & Seating Deck



Prefabricated Metal Planter

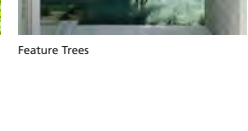
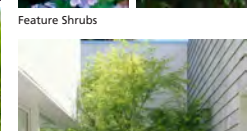
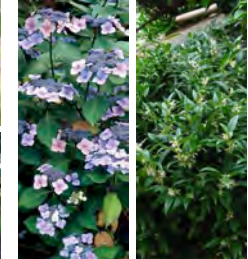


Artificial Turf



Seating Deck

SELECTED PLANT MATERIAL



LEVEL 7 AMENITY SPACE



Cover Area



Play Equipment on Rubber Surface



Rooftop Orchard w. / Seating

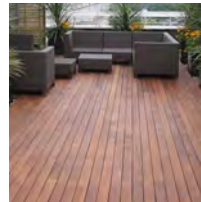


Rooftop Garden Space



Moveable Table & Chairs

LEVEL 32 AMENITY SPACE



Wood Deck



Trellis



Fire Pit & Lounge Chair



BBQ Station



Dining Area



Bar Seating

5	Reissued for RZ/ DP	2022/05/20
4	Issued for ADP	2022/04/12
3	Reissued for RZ/ DP	2022/04/05
2	Reissued for RZ/ DP	2022/02/25
1	Issued for DP	2021/09/17
	Revision No.	Date

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Client:

**StreetSide
Development
(BC) Ltd.**

Project Title:

**Mixed-used
Residential and
Commercial Retail
Development**

Drawing Title:

Precedent Images

Project North:

Drawn By:

SJ

Checked By:

JM

Scale:

As Shown

Job No.:

20-055

Sheet No.:

L6.0

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: May 24, 2022 **PROJECT FILE: 7821-0285-00**

**RE: Engineering Requirements (Commercial/Multi-Family)
Location: 13868 104 Avenue**

CITY CENTRE PLAN (CCP) AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements relative to the CCP Amendment and Development Permit beyond those noted below.

REZONE

Property and Right-of-Way Requirements

- Dedicate 4.0 metres along 104 Avenue;
- Dedicate approximately 2.3 metres along 138A Street;
- Dedicate 2.0 metres along Green Lane;
- Dedicate required corner cuts;
- Register 0.5 metre wide statutory rights-of-way along all road frontages.

Works and Services

- Construct the south side of 104 Avenue, east side of 138A Street, and the Green Lane;
- Implement the recommendations of the Traffic Impact Study;
- Construct frontage mains required to service the site;
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified;
- Provide water, storm, and sanitary service connections to support the development;
- Register applicable legal documents as determined through detailed design;
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure and applicable latecomer charges.

A Servicing Agreement is required prior to Rezone.



Jeff Pang, P.Eng.
Development Services Manager

AJ



May 18, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 21 0285 00

SUMMARY

The proposed 342 highrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	26
Secondary Students:	16

September 2021 Enrolment/School Capacity

Lena Shaw Elementary	
Enrolment (K/1-7):	83 K + 499
Operating Capacity (K/1-7)	57 K + 512
Guildford Park Secondary	
Enrolment (8-12):	1364
Capacity (8-12):	1050

Projected population of school-age children for this development:	55
--	----

Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

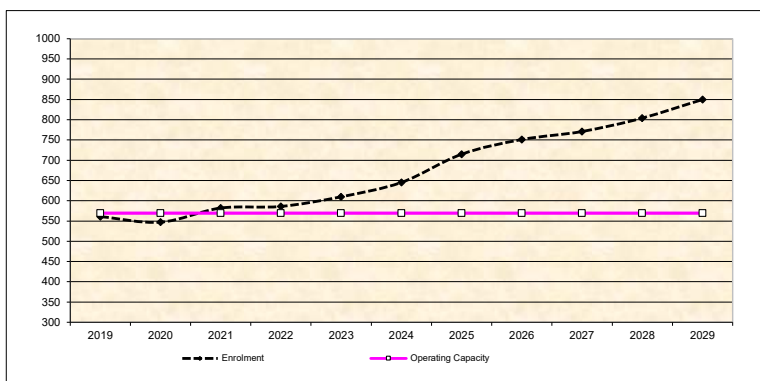
School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

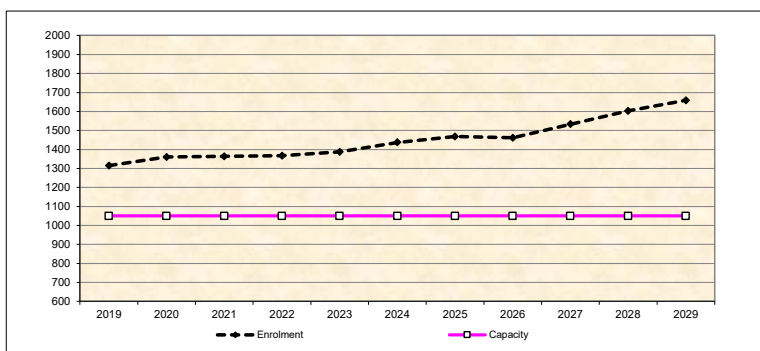
Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 900 students. As part of the District's 2022/2023 Five Year Capital Plan, the district has requested an 8-classroom addition. The Ministry of Education has not approved funding for this project.

Guildford Park Secondary operates over capacity. With the continued development and densification of the City Center, enrollment for this school is projected to continue to grow, perhaps, quicker than what is shown below. In March 2020, the Ministry of Education supported the District to prepare a feasibility study for a 450-capacity addition at the secondary school. The addition is targeted to open for September 2024.

Lena Shaw Elementary



Guildford Park Secondary

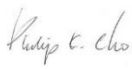


* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Registered Arborist: Philip Kin Cho - ISA Certified Arborist #HK-1086AM

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	6
Protected Trees to be Removed	6
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio. <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 6 </u> X two (2) = 12	12
Replacement Trees Proposed	65
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

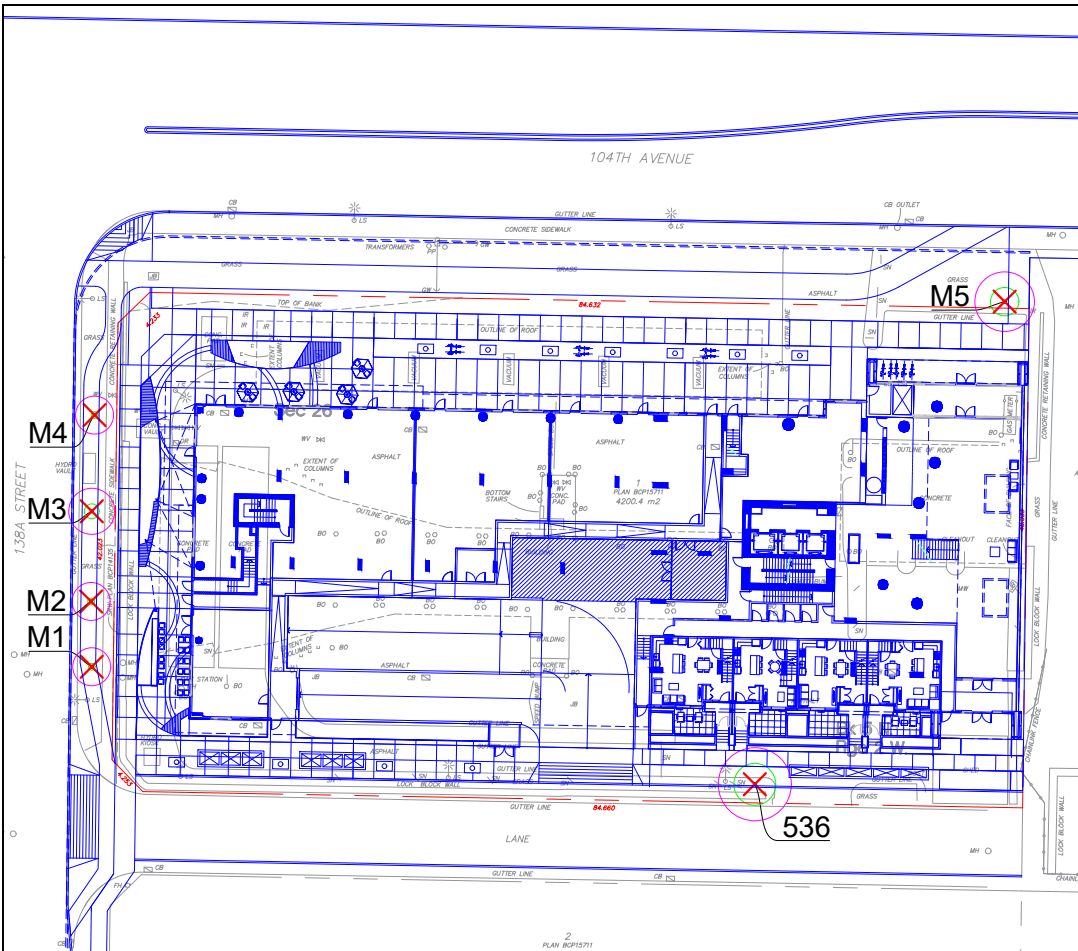
Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

March 2nd, 2022

 Date



ID #	Common Name	DBH (cm)	Height	Condition	TMAC Rating	Retention Suitability	Comments	Retain/Remove
535	Red maple	31	Fair	low	Moderate		Conflicts with proposed roadwork	Remove
M2	Hedge maple	5	Fair	-	-		Conflicts with proposed cycle track	Remove
M2	Hedge maple	5	Fair	-	-		Conflicts with proposed cycle track	Remove
M3	Hedge maple	11	Fair	-	-		Conflicts with proposed cycle track	Remove
M4	Natibura	5	Fair	-	-		Conflicts with proposed cycle track	Remove
M5	Sweet gum	21	Fair	-	-		Conflicts with proposed sidewalk	Remove

2
PLAN BCP1571

Drawing No. 3 of 4	Sheet Title Tree Management Plan	Project Title Arborist Report for Development Purposes	Project Address 13868-13870 104 Ave, Surrey, BC
Page 27 of 34	Revision No. 1	Project No. Streetside Developments 20200724	Client Name Mark Schmidt

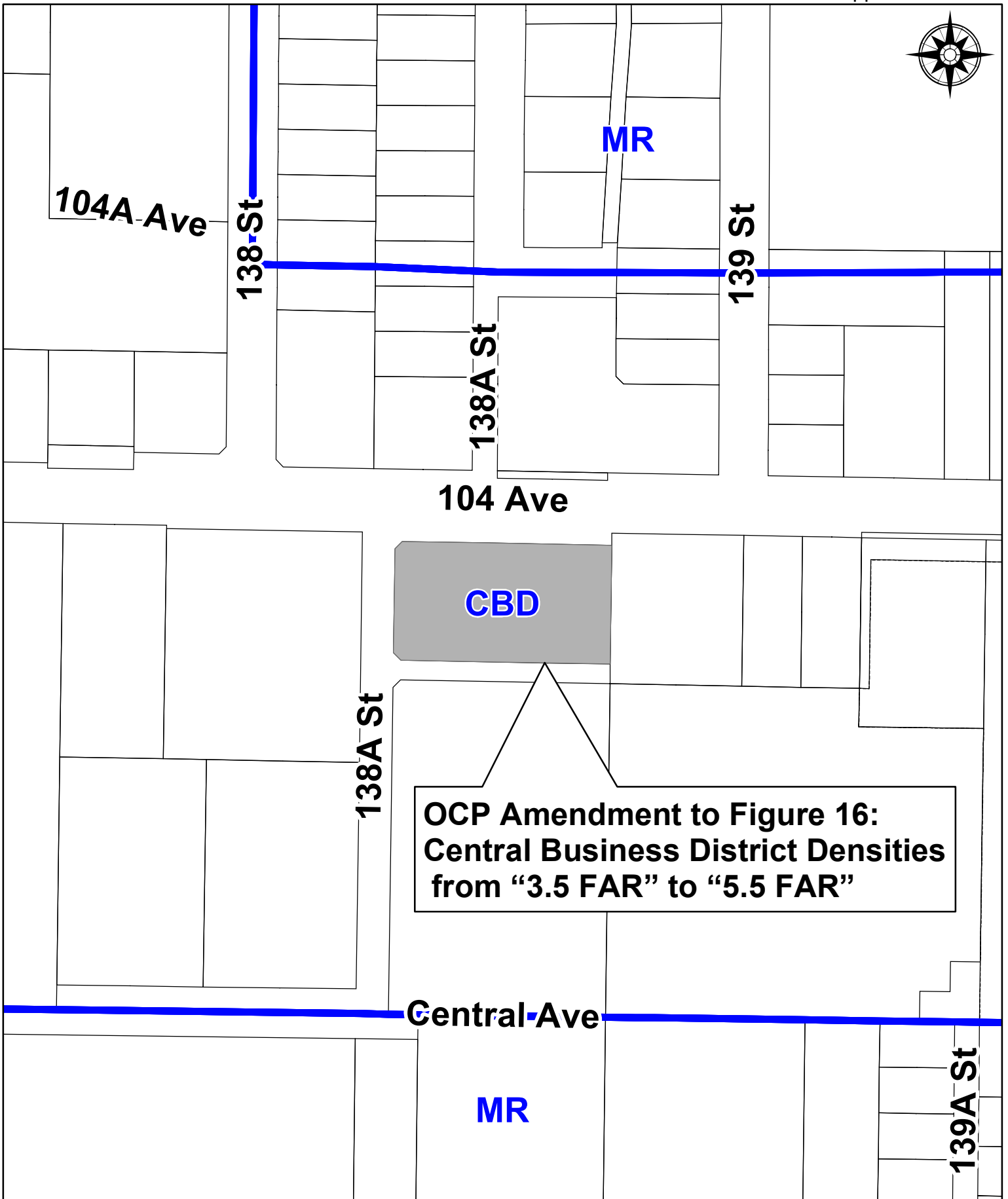
0 5 10
Meters

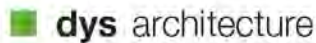
Revision Date
March 2nd, 2022

Philip Kin Cho
ISA Certified Arborist® #IBC-1086AM
ISA Certified Arborist Municipal Specialist®
ISA Tree Risk Assessment Qualification
Forester in Training #3727
BSSC, MSC, MSFM

BC Plant Health Care Inc.
18465 53rd Avenue, Surrey, BC
P: 604-575-8727
F: 604-575-2972
E: info@bcphcare.com
24 Hour Emergency Pager: 604-607-1616

LEGEND	
	Property Line
	Tree Reference
	Critical Root Zone (CRZ)
	Impact Zone (CRZ 1.5 m Buffer)
	Proposed Removal





260 - 1770 Burrard Street
Vancouver BC V6J 3G7
t 604 669 7710
w www.dysarchitecture.com

May 19, 2022

Surrey City Hall,
13450 104 Avenue,
Surrey, BC,
V3T 1V8

Attention: Ingrid Mathews

Dear Ingrid,

Re: Response to ADP Comments

Please find below our response to the ADP comments as noted in the Advisory Design Panel Minutes dated April 21, 2022.

The Panel noted that the project will be a great addition to City Centre and set the tone for development in this area along 104 Avenue.

- Noted.

Key Points

Consider locating living rooms in the corner of units to take better advantage of the views.

- Suites are designed to respond to Streetside's target market and their marketing requirements. In addition, having the living rooms on the corners on the west side corner units subjects those units to additional solar heat gain.

Consider additional articulation or emphasis of the white grid form on the south and west elevations.

- There is already considerable articulation to the facades of the white "boxes". Additional articulation will result in significant revisions to the units in those areas resulting in compromised units and/or loss of unit area.

Consider relocating the second exit stair (next to the tower core) toward the east to reduce the impact on the CRUs.



- Moving the exit stair to the east will result in less usable CRU space due to additional corridor space required and will not appreciatively improve the impact on the CRUs. It will also conflict with the entry to the commercial elevator.

Consider using real copper and wood elements for cladding.

- Real copper cladding has never been the design intent of these elements as the colour is intended to be more a rust colour than a copper colour. The use of real wood in terms of durability and is problematic in a high-rise non-combustible building. The desired effect can be achieved with a high quality wood look metal product.

Consider privacy conflicts caused by the Level 2 exit door located between two residential units.

- Additional planting has been added to address privacy concerns at the level 2 exit door from the terrace. See attached Landscape drawing L1.3

Consider compressing the play area by overlapping safety zones to reduce the use of rubberized surfaces and provide additional planting space on Level 7.

- Agreed, please see drawing L1.4 for the revised playground area. Additional planting has been provided to create additional shade and buffering from adjacent uses.

Consider eliminating or using gas-alternative energy sources for the outdoor fireplace.

- The gas fire element has been removed from the amenity roof (L1.5). P+A will review options for a gas alternative solution with the project team through the design development process.

Consider providing bicycle washing, maintenance, and electric bike charging facilities.

- Bicycle washing and maintenance spaces have been added. See attached drawing A2.04.

Consider adding a second washroom facility for the Level 33 amenity area.



- A second washroom has been added to Level 33 amenity space. See A2.19.

Site

Appreciate the level of planning for all amenity space.

- Noted.

Form and Character

The building has great color combinations, specifically at the tower location.

- Noted.

There is a good emphasis on both lobby entrances.

- Noted.

The compact tower form to align with the Step Code is commendable. Consider a solution to protect the west side from sunlight exposure, such as vertical solar shading or recessing.

- Corner units on the west side of the tower have living rooms facing north and south, avoiding large glazing expanses on the west face. Small clerestory windows have been provided to the bedrooms minimizing solar exposure. The west facing studio and 1 bedroom units have large balconies to help decrease solar exposure in the summer months. All units in the project have air conditioning to ensure occupant comfort.

Consider increasing the height of the pop-up on the northeast tower top elevation.

- We have reviewed increasing the height of the popup at the top of the tower and feel that the current height is most appropriate in proportion to the size and height of the tower. This space is currently a 2 storey amenity space.

Appreciate the use of "lock off" suites.

- Noted

Appreciate the ample personal locker space on the lobby level.

- Noted.



Consider adding a second washroom to the Level 33 amenity space.

- A second washroom has been added to Level 33 amenity space. See A2.19.

Landscape

The landscape concept and public realm are handled well.

- Noted.

The amenity spaces are nicely sized and programmed.

- Noted

The open spaces on Level 2 and 7 and for the penthouse are well designed and oriented.

- Noted.

Recommend that the guardrail condition on all upper-level exterior amenity decks be better coordinated between the architect and landscape architect and consider additional refinement. A 42" deep planter may be heavy and detract from the amenity area experience.

- Noted, P+A to explore options with architect to ensure that overall planting strategy does not detract from amenity experience or architectural expression at parapets, etc.

Consider how the arc motif on the ground plane landscape design along the west side of the site relates to the architectural façade and "box" element.

- P+A to review this area in greater detail to improve the relationship of the arch motif with the box element.

Suggest a green screen instead of a green wall on the lane.

- Agreed, a green screen is intended for this area.

Consider providing an exterior designated pet area.

- Although the building will be pet friendly, a designated pet area will not be provided due to hygiene and smell concerns. There are a number of green and park spaces in close proximity to the project.



Avoid Ipe or tropical woods.

- Ipe and tropical woods are not being contemplated for the project. Landscape details have been updated to reflect this.

Ensure the growing medium is adequate to provide an environment for shade giving trees.

- P+A will provide a minimum of 10m³ for all proposed full size trees.

Consider equal opportunities for shaded areas, such as raised decks, for all accessibility levels on Levels 2 and 7.

- Noted, P+A to review and incorporate with accessibility in mind where possible

CPTED

No specific issues were identified.

- Noted.

Sustainability

Commend the location and concentration of the bicycle facilities.

- Noted

Consider relocating the fitness area on Level 7 to reduce heat gain from the southern exposure.

- The indoor dining and lounge areas are located adjacent to the outdoor amenity areas due to functional requirements. The fitness area is located where it is there is no functional requirement for adjacency to the exterior amenity space. Once the actual equipment for the fitness facility is selected, we will review the interior layout to minimize negative solar effects. In addition, we will review implementing blinds and solar coatings on the windows. Please note that this area will be air conditioned.

Consider implementing operable windows on both sides of corner units



to provide passive ventilation and cooling.

- There will be operable windows on both sides of the corner units.

Consider larger HRV/EVR units as they provide benefits such as better energy performance, better filtration, and summer bypass that does not add heat during the summer.

- Sizing of HRV/ERV units will be reviewed with the mechanical consultant.

Consider opportunities for additional external shading for the southwest corner at the CRU level.

- Additional shading and/or glazing type and performance will be reviewed.

Consider a recycling lounge concept.

- A recycling lounge will added.

Consider consulting an acoustical engineer or implementing acoustical glazing for the lower-level units to address potential noise issues from the electrical substation.

- An acoustical engineer will be retained.

Accessibility

No specific issues were identified.

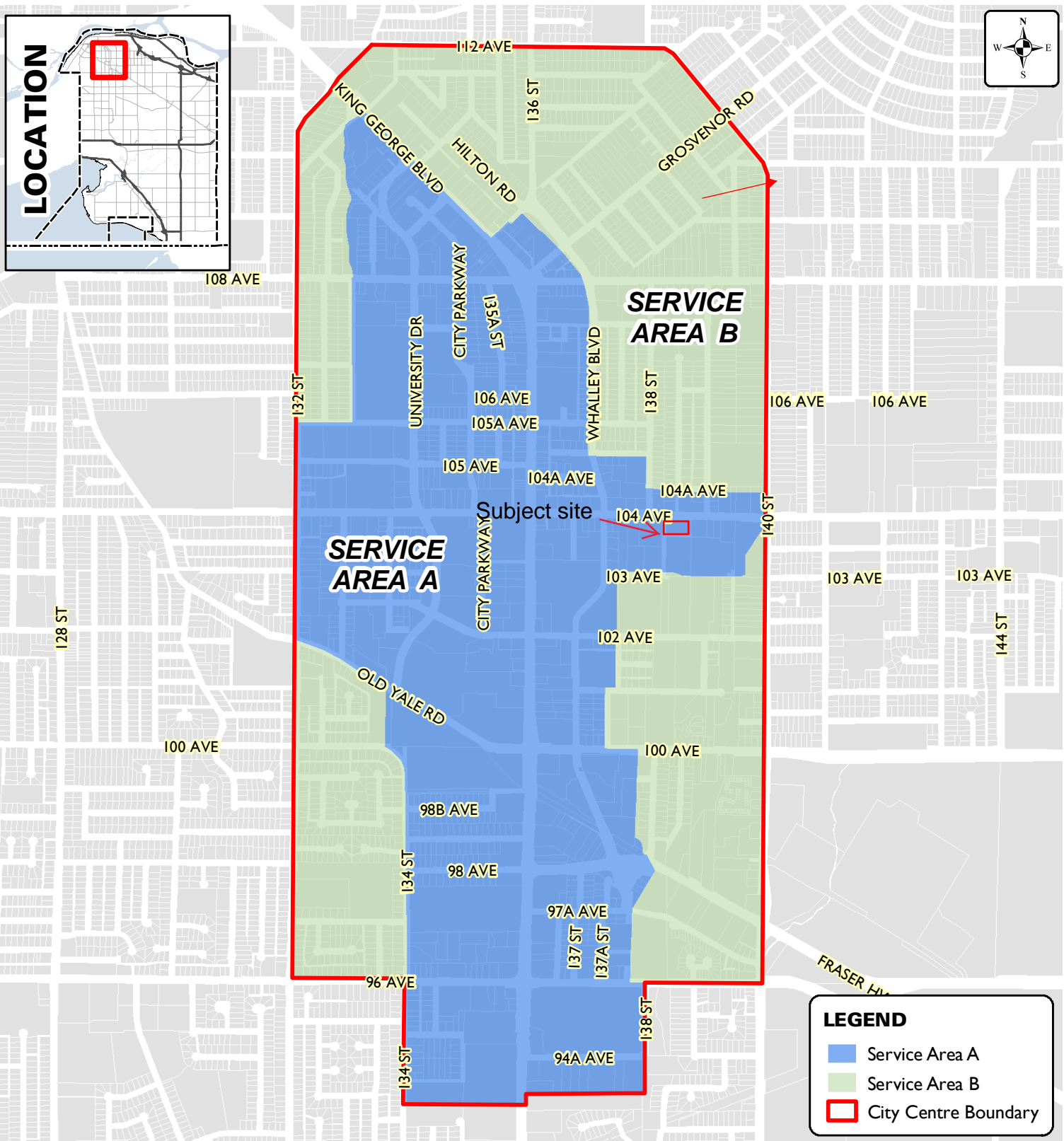
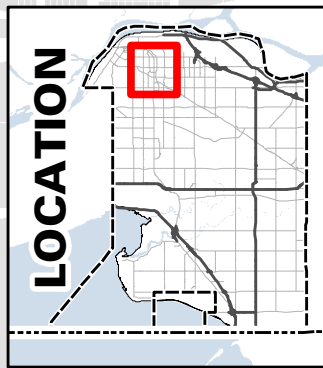
- Noted.

We trust that the above responses adequately respond to all the points raised. Please don't hesitate to contact me if there are any questions or concerns.

Yours sincerely,
dys architecture

Colin Shrubbs, Architect AIBC, MRAIC
Principal

FIGURE 1



Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey.
This information is provided for information and convenience purposes only.
Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.